TOWN OF SCITUATE

Planning Board



600 Chief Justice Cr Scituate, Massachus Phone: 781-545-87 FAX: 781-545-870

Accessory Dwelling Special Permit - 2 Cedar Crest Lane **Decision:** APPROVED with Conditions

Owner/Applicant:

Karen Lynch

Date:

August 23, 2017

Location: Assessor's Map: 2 Cedar Crest Lane # 44-1-16

Plans entitled Location Plan, 2 Cedar Crest Lane, Scituate, MA by Engineering, dated 6/6/17 with revisions of 7/27/17 and 8/8/17; elevations and floor plan Drawings A0, A1, A2 and EC General Notes & Details, Proposed Floor Plans, Proposed and Existing Conditions Floor Plans dated 8/1/16 with revisions stamped in 8/8/17 for 2 Lane; detail of typical permeable paver installation and infiltrator "ARC 36HD" (Heavy

Leaching Chamber System; landscape foundation plans stamped in 8/8/17.

Members Hearing Special Permit Application: Stephen Pritchard, Chairman; Ann Burb Benjamin Bornstein, William Limbacher and Richard Taylor.

Background: The property lies in the Town of Scituate Residence R-2 Zoning District approximately 17,175 sq. ft. according to the site plan submitted with the application. A the property lies within the Town of Scituate Water Resources Protection District; hower proposed addition and its improvements are located outside of the district.

The applicant has requested approval to create a one bedroom accessory dwelling of approximately 748 sq. ft. within a detached garage with access off of Torrey's Lane. The accessory dwelling will be located above the garage. The existing house has three bedrooms. According to the Assessor's

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records, the primary dwelling has a net floor area of 1,088 sq. ft. The area of the accessory dwelling is less than 750 sq. ft. so it is allowed by the bylaw; however it is 69% of the area of the primary dwelling. The applicant has signed a notarized statement saying that she intends to occupy one of the dwelling units.

The applicant is proposing that the accessory dwelling and primary dwelling will be served by an upgraded septic system. There is a driveway for the accessory dwelling and one for the primary dwelling which should provide four outside parking spaces to satisfy the requirement for two parking spaces for the accessory dwelling and two for the primary dwelling.

<u>Procedural Summary:</u> This request for a Special Permit was filed with the Town Clerk and the Planning Board on June 20, 2017. A Public Hearing before the Planning Board was duly advertised and notices sent to all abutters in accordance with MGL Chapter 40A. The hearing was opened on July 27, 2017 and continued until August 10, 2017 when it was closed and the Planning Board approved the Special Permit with conditions including the standard conditions.

<u>Hearing Summary:</u> The public hearing was opened on July 27, 2017 with Gregory Morse of Morse Engineering Inc. present. The hearing was continued until August 10, 2017 so that the applicant could provide a landscape plan as the Board was concerned about the visual impact to the neighborhood. The Planning Board approved the accessory dwelling special permit with conditions on August 10, 2017.

Public Comment: The Planning Board received a memorandum from Jennifer Keefe, Health Agent, on 7/20/2017 that the Board of Health has approved a four bedroom septic design plan for the property with the bedrooms and their locations consistent with the application package submitted to the Planning Board. John and Christine Harris of 9 Torrey's Lane submitted comments regarding the size of the accessory dwelling on the non-conforming lot, runoff and flooding, the addition of a septic system for two homes diminishing the character of the neighborhood, the width of Torrey's Lane, landscaping and concern of construction noise. At the hearing on 7/27/17, Mr. & Mrs. Harris conveyed their above concerns. Patricia Murphy of 7 Cedar Crest Lane commented that it looks like two structures on a small lot, was concerned with the runoff flowing down the street and that the neighborhood would be devalued.

For the August 10, 2017 hearing session, Mary Mulcahy, Robert Adams, Patricia Murphy and John and Christine Harris submitted comments. They all expressed concern regarding runoff/erosion issues and the additional separate structure on the lot. The Harris' were concerned with landscaping issues and construction noise. Mrs. and Mr. Harris expressed their written views orally at the public hearing as well as asking for a covenant in case there are stormwater issues afterward. Mike Mulcahy of 21 Torrey's Lane said he has similar concerns as the Harris' due to his sump pump running 24/7 and the very high groundwater table. He said he couldn't do termite control due to the high water table. Ms. Murphy expressed concern that she does not want to see the Town ruined as is happening with development. Ms. Harris inquired what her recourse was as an abutter if there was damage to her property or flooding. Ms. Harbottle said that the special permit conditions are not followed that is a zoning violation and can be enforced.

<u>Findings of fact:</u> A motion was duly made and seconded to make the following Findings of Fact concerning the accessory dwelling at 2 Cedar Crest Lane:

- 1. On June 20, 2017, Karen Lynch applied for a special permit for an accessory dwelling proposed to be in a detached garage unit on a single family house lot at 2 Cedar Crest Lane.
- 2. According to the Town of Scituate Assessor's Field Card, the existing house has a net area of 1,088 sq. ft. and three bedrooms. The accessory dwelling with one bedroom will be 69% of the floor area of the primary dwelling. Based on the application, the interior floor space of the proposed accessory dwelling will be 748 sq. ft. This is less than the maximum of 750 sq. ft. allowed by the Zoning Bylaw. The accessory dwelling meets the size requirements of Section 530.2F.
- 3. The property is non-conforming as to lot area. A special permit to allow expansion was approved by the Zoning Board of Appeals on July 24, 2017.
- 4. The Location Plan dated 6-6-17 shows two driveways. One is off Cedar Crest Lane. It is bituminous concrete and has room for at least two cars. The second driveway is proposed off of Torrey's Lane. It is proposed as pervious material and has room for two cars. The new garage will also contain sufficient room for two vehicles. This appears adequate to provide two parking spaces for the accessory dwelling and sufficient parking for the primary dwelling.
- 5. The owner has submitted a signed, notarized statement that she will live on the property.
- 6. The detached garage complies with all required setback, building height and yard requirements for a primary structure.
- 7. A memo dated July 20, 2017 from Jennifer Keefe, Health Agent, indicates a four bedroom septic design plan for the property has been approved.
- 8. There are two means of egress, a slider door to the deck and an outside stair to the garage.
- 9. The application meets the standards of the Scituate Zoning Bylaw for an Accessory Dwelling Special Permit.

<u>Decision:</u> A motion was duly made and seconded to approve the Special Permit for an accessory dwelling at 2 Cedar Crest Lane with the following conditions and standard conditions for accessory dwellings:

1) Except for any changes necessary to meet these conditions, any construction shall conform to the plans entitled Location Plan, 2 Cedar Crest Lane, Scituate, MA by Morse Engineering, dated 6/6/17 with revisions of 7/27/17 and 8/8/17; elevations and floor plans including Drawings A0, A1, A2 and EC General Notes & Details, Proposed Floor Plans, Proposed Elevations and Existing Conditions Floor Plans dated 8/1/16 with revisions stamped in 8/8/17 for 2 Cedarcrest Lane.

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- 2) The number of bedrooms in the accessory dwelling is limited to one in the location and size indicated on the floor plan submitted with the application. The number of bedrooms in the primary dwelling is limited to three. The applicant will provide an updated floor plan prior to installation.
- 3) The accessory dwelling shall conform to all applicable standards in the building, plumbing, electrical, mechanical, fire and health codes and bylaws.
- 4) Per the direction of the DPW Water Division, the water service for the accessory dwelling can connect with that serving the existing house (after the water meter) or from a new service to be installed from Cedar Crest Lane. Under no circumstances is the accessory dwelling to be serviced by water from Torrey's Lane.
- 5) Stormwater runoff must be contained onsite during construction and after construction is completed. In addition to a stabilized construction entrance and silt sock to be located at the downhill side of the property along Torrey's Lane, stormwater runoff during construction shall be directed to one or more siltation sumps or devices approved by the Planning Office that is appropriately sized to handle runoff during construction. This device and other erosion control shall be in place and inspected by the Planning Office prior to any foundation work commencing. The applicant shall inform her contractor that he or she is required to contact the Planning Office prior to the start of construction. A construction sequence of activities shall be provided to the Planning Office with detail for erosion control, foundation, building and septic system installations.
- 6) A new site plan shall be submitted showing a detail of the pervious pavers, a construction sequence of activities and stormwater runoff control measures as described in Condition 5. The decision shall not be filed with the Town Clerk until this new plan is satisfactorily submitted to the Planning Office. The new site plan shall include the above as well as an operation and maintenance plan for the pervious pavers to preserve their ability to infiltrate stormwater. Yearly documentation of maintenance must be provided to the Planning Office.
- 7) Construction work shall not begin prior to 7:00 am weekdays and 8:00 am on Saturdays and shall cease no later than 7:00 pm or sunset whichever is earlier. No construction shall take place on Sundays or legal/federal holidays. Construction includes idling of vehicles, delivery of materials to the site and all other construction activities.
- 8) Six evergreen shrubs of a minimum size of three feet shall be installed between the impervious barrier of the septic system and property line to help screen the accessory dwelling. A plan shall be provided to the Planning Board prior to implementation.
- 9) The standard conditions for accessory dwellings approved by the Planning Board shall be conditions of this decision and shall be included for recording at the Registry of Deeds.

- A. The applicant shall meet all requirements of the Building Department, Board of Health, Department of Public Works, Fire Department, Water Department, Conservation Commission and other town agencies.
- B. The property shall contain a maximum of two dwelling units, the primary dwelling and the accessory dwelling as proposed. The footprint, number of bedrooms and/or square footage shall not be increased without prior approval of the Planning Board.
- C. The owner of the property shall reside on the property as long as it contains an accessory dwelling unit.
- D. The Planning Board may require an on-site inspection for conformance to the approved plans and these conditions prior to the issuance of a Certificate of Occupancy for the accessory dwelling.
- E. An Accessory Dwelling Special Permit Certification of Ownership and Occupancy signed by the new owner shall be provided to the Planning Board within seven days of the closing of the sale of the house. It is recommended that this be signed at the closing.
- F. At any time, at the request of the Planning Board the owner shall provide a notarized affidavit indicating that either the primary or accessory unit is owner occupied.
- G. No on-street parking by occupants of the primary or accessory dwelling shall be permitted at any time.
- H. Construction vehicles/equipment shall not idle, be parked, stored, loaded or unloaded in the street.
- I. This Special Permit shall be void if it is not recorded at the Registry of Deeds within 90 days of the date of filing with the Town Clerk. The owner shall provide proof of this recording to the Planning Board.
- J. This Special Permit shall lapse within two years from the date of its issuance unless substantial use or construction has commenced prior to that time in accordance with MGL Chapter 40A, Section 9.
- K. The Planning Board reserves the right to review compliance with this special permit at any time. This Special Permit shall terminate if the use is not in accordance with this decision and its conditions.

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Vote:

Based on the Findings of Fact and the evidence and information provided by the applicant and obtained through the public hearings, the members of the Planning Board hearing this application voted unanimously to approve the Special Permit for an Accessory Dwelling at 2 Cedar Crest Lane with the conditions noted above.

Date

SCITUATE PLANNING BOARD

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William Linkeher

This decision was filed with the Town Clerk on

August 24, 2017

Appeal of this special permit may be made pursuant to M.G.L. Chapter 40A, Section 17, and shall be filed in a court of competent jurisdiction. Proof of that filing shall be provided to the Town Clerk within twenty (20) days of the date of the filing of the decision with the Town Clerk.

This special permit will not become effective until such time as an attested copy of this decision has been filed with the Plymouth County Registry of Deeds, after the expiration of the appeal period of twenty (20) days.

The Planning Board certifies that it has complied with all statutory requirements of MGL Chapter 40A, Sections 9 and 11, and will file copies of this decision with the Town Clerk. The Planning Board further certifies that it has taken into consideration all testimony rendered at the Public Hearing, the comments and suggestions of other boards which have reviewed and made comments on the plans

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Long-Term Operation & Maintenance Plan Best Management Practices

2 Cedar Crest Lane Scituate, MA

Responsible Parties & Contact Information:

<u>Owner:</u>	
Karen Lynch	
2 Cedar Crest Lane	
Scituate, MA 02066	

The property owner shall be responsible for operation and maintenance.

Record Keeping:

The responsible party shall maintain an operation and maintenance log for a minimum of three years prior including inspections, repairs, replacement and disposal. The log shall be kept on-site at all times.

Operation & Maintenance:

In order to maintain the integrity of the stormwater management system, frequent inspections and maintenance shall be performed by the owner. The BMPs require continuous inspections and maintenance in order to function properly. The BMPs should be inspected and maintained as specified and after all major storm events.

Gutter & Downspout Systems shall be inspected quarterly. Material observed within any gutter or downspout shall be removed and disposed of in accordance with all applicable local, state and federal regulations.

Roof Drywells shall be checked for infiltrative capacity on a quarterly basis and after any significant rainfall event. Additional inspections should be scheduled during the first few months to make sure that the chambers are exfiltrating within 72 hours of all storms. It is recommended that "gutter guards" be installed on the roof gutter system to prevent leaves and tree debris from entering the subsurface system. Material observed within any roof drywell shall be removed and disposed of in accordance with all applicable local, states and federal regulations.

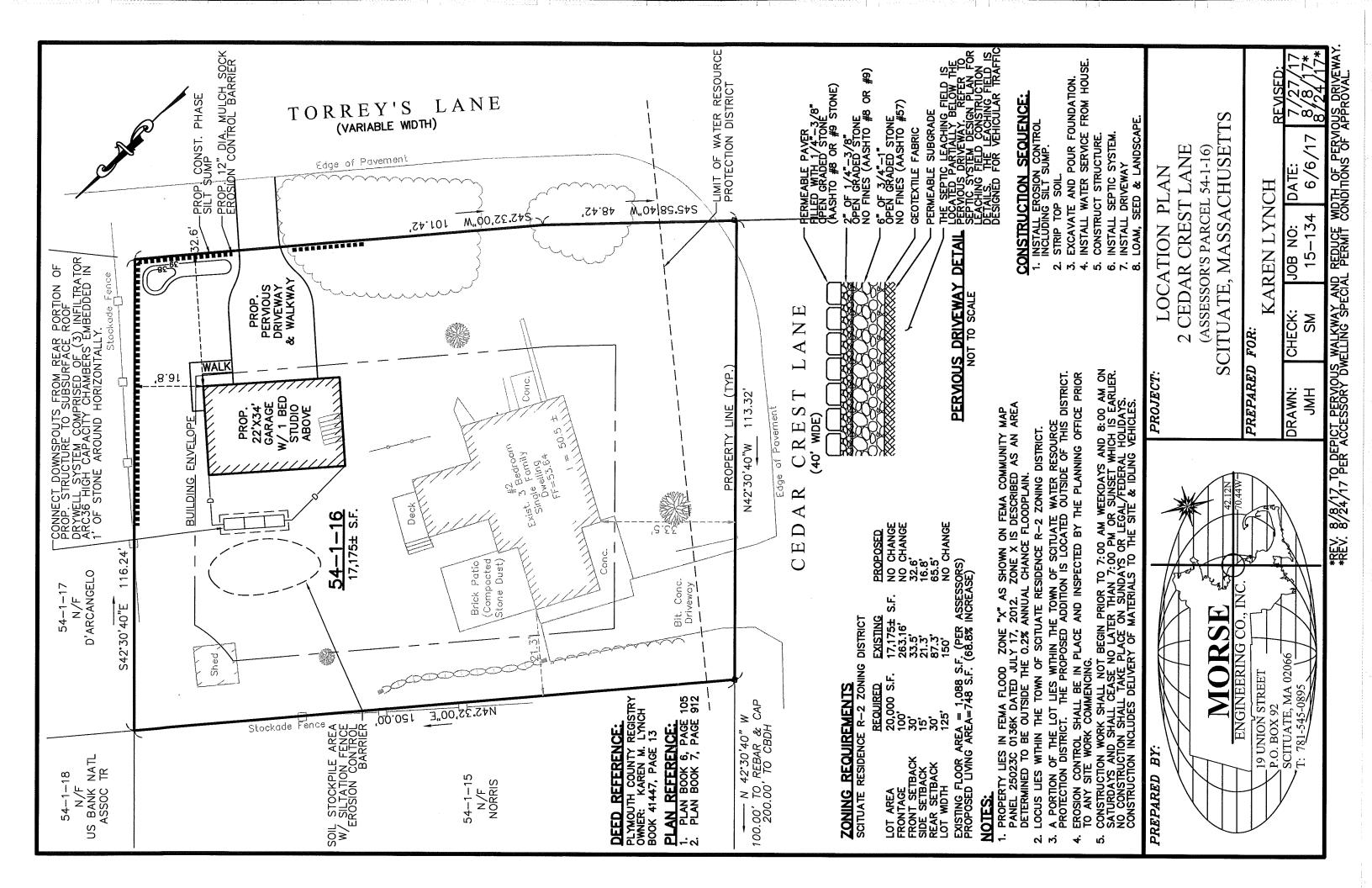
Pervious Paver Driveway shall be kept clear of debris. A push broom or leaf blower can be used to remove debris as needed. It is recommended to remove debris bi-monthly with additional removal in the fall as needed. Check for infiltrative capacity quarterly. To restore the system, a power washer can be used to remove debris and stone between pavers. Replace stone between pavers with ½"-3/8" stone (AASHTO #8 or #9).

Project Location: 2 Cedar Crest Lane, MA

Stormwater Management – Post Construction Phase Best Management Practices – Inspection Schedule and Evaluation Checklist

Performed by Date of Cleaning/ Repair Cleaning/Repair Needed: ☐yes ☐no (List Items) Remove debris with broom and or blower bimonthly
Restore system with pressure washer and replace stone as necessary.
Remove material in gutters and downspouts. Install gutter guards. Minimum Maintenance and Key Items to Check (1) Inspect for infiltrative capacity Repair erosion or scour Inspector Date Inspected Long Term Practices

Best Inspection
Management Frequency
Practice (1) Bi-Monthly & Quarterly Quarterly Quarterly Pervious Paver Driveway Roof Drywell System Gutter and Downspout System



GENERAL CONSTRUCTION NOTES

DIMENSIONS: DIMENSIONS SHOWN ON THE PLANS ARE TO THE CENTER OF THE FINISHED PARTITION OR WALL, UNLESS OTHERWISE NOTED. DO NOT SCALE DIMENSIONS FROM THE

MISC. WORK: PERFORM ALL MINOR CUTTING, PATCHING, DISCONNECTION'S, REMOVAL AND REPAIRING NECESSARY TO COMPLETE THE WORK INDICATED IN THE CONSTRUCTION DOCUMENTS. INCLUDE MINOR WORK NOT USUALLY SHOWN OR SPECIFIED, BUT NECESSARY FOR PROPER CONSTRUCTION AND COMPLETION OF ANY PART OF THE WORK, WHERE ETR DOORS ARE LOCATED WITHIN AREAS RECEIVING NEW FLOOR FINISHES AND THRESHOLDS, CHECK DOORS TO VERIFY DOOR BOTTOMS DO NOT BIND, DRAG OR SCRAPE NEW FLOOR FINISHES. CUT DOOR BOTTOMS TO CLOSE DEPOREDLY.

PATCHING: PATCH NEW CONSTRUCTION INTO EXISTING-TO-REMAIN AREAS TO ACHIEVE A CONSISTENT MATCHING APPEARANCE OF THE ADJACENT

FINISHES. PROVIDE SMOOTH TRANSITIONS BETWEEN NEW AND EXISTING—TO—REMAIN PLANES OF MATERIALS. AVOID CREATING LINES, CREASES OR JOINTS WHERE THE NEW AND EXISTING FINISHES

PATCH AND REPAIR FLOOR SLAB SURFACE TO PROVIDE CLEAN, LEVEL SURFACE FOR NEW

CAULKING/SEALANT: PROVIDE CAULKING/SEALANT AT ALL GAPS AND JOINTS CREATED BY THE NEW CONSTRUCTION. PROVIDE BACKER RODS AND/OR CLOSURE PIECES WHERE THE GAP SIZE EXCEEDS THAT RECOMMENDED BY THE CAULKING/SEALANT MANUFACTURER. ALLOW FOR POSSIBLE THERMAL AND STRUCTURAL MOVEMENT OF ADJACENT CONSTRUCTIONS. USE PRODUCTS RECOMMENDED BY THE MANUFACTURER FOR EACH SPECIFIC CONDITION. USE PAINTABLE ACRYLIC OR BUTYL SEALANT AT INTERIOR VERTICAL JOINTS.

ROUGH CARPENTRY: COORDINATE, FURNISH AND INSTALL DIMENSIONAL LUMBER FOR BLOCKING IN NEW AND ETR WALLS, SOFFITS AND CEILINGS REQUIRED FOR THE SUPPORT OF ALL EQUIPMENT, MILLWORK, CASEWORK, RAILS, ACCESSORIES, FIXTURES AND DEVICES INDICATED IN THE CONSTRUCTION DOCUMENTS. USE PRESSURE—TREATED WOOD WHERE IN CONTACT WITH CONCRETE

PROTECTION & CLEANUP: PROTECT ALL NEW CONSTRUCTION AND INSTALLED WORK FROM DAMAGE, STAINING AND DIRT. AS PART OF THE PROJECT CLOSEOUT: REMOVE ALL EXTRA MATERIALS FROM THE SITE; CLEAN ALL GLASS, WINDOW FRAMES AND BLINDS, FIXTURES, METAL AND LAMINATED SURFACES; SWEEP, VACUUM AND/OR MOP FLOOR FINISHES; AND LEAVE THE SITE IN A CLEAN AND ORDERLY CONDITION.

DOOR HARDWARE: INSTALL HARDWARE IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS, USING PROPER TEMPLATES. ACCURATELY AND PROPERLY FIT HARDWARE TO DOORS AND FRAMES. REMOVE EXPOSED PARTS AND RE-INSTALL AFTER DOOR AND FRAME FINISHING IS COMPLETED. FIT PARTS SNUG AND FLUSH, ADJUST OPERATING PARTS TO MOVE FREELY AND SMOOTHLY WITHOUT BINDING, STICKING OR WITH EXCESSIVE CLEARANCE. LUBRICATE SURFACES OF MOVING PARTS. ADJUST LATCHING AND HOLDING DEVICES FOR PROPER

PAINTING: PREP ALL AREAS AND MATERIALS TO RECEIVE PAINTED AND STAINED FINISHES, PER MANUFACTURER'S RECOMMENDATIONS. TEMPORARILY REMOVE ALL EXISTING COVER PLATES, HARDWARE, SIGNAGE, ETC.. FROM SURFACES INDICATED TO BE PAINTED OR STAINED. RE-INSTALL AFTER NEW FINISHES ARE COMPLETED AND DRIED. RE-PAINT ETR WALL AND SOFFIT PLANES FLUSH WITH NEW AND/OR REPAIRED WALL AND SOFFITS IN THE SAME PLANE THAT ARE TO BE PAINTED.

FURNISH AND INSTALL CONCEALED BLOCKING AT ALL GRAB BARS, SHELVING STANDARDS, AND OTHER WALL MOUNTED ELEMENTS. BLOCKING AND ATTACHMENTS SHOULD BE SUFFICIENT TO WITHSTAND LOADS PER CODE, INCLUDING NOT LESS THAN 250 POUNDS FOR GRAB BARS.

WORKMANSHIP: ALL WORK SHALL BE DONE BY TRADES PEOPLE EXPERIENCED IN EACH SPECIFIC TRADE, AND TO THE HIGHEST STANDARDS OF PRACTICE AND WORKMANSHIP FOR EACH TRADE.

FIELD VERIFICATION: PRIOR TO BEGINNING THE WORK, THE CONTRACTOR SHALL VERIFY ALL EXISTING FIELD CONDITIONS AND DIMENSIONS AND IMMEDIATELY NOTIFY THE ARCHITECT OF ANY CONTRADICTIONS, ERRORS OR OMISSIONS CONTAINED IN THE CONTRACT DOCUMENTS.

SITE SAFETY: THE CONTRACTOR SHALL BE RESPONSIBLE, FOR THE DURATION OF THE WORK, FOR THE PROTECTION OF ALL MATERIALS AND CONSTRUCTION (ETR AND NEW) FROM DAMAGE; THE SAFETY OF ALL WORKERS, EMPLOYEES AND OTHERS ON THE JOB SITE; AND SITE SECURITY.

MAINTAIN EGRESS REQUIREMENTS AT ALL TIMES, FOR THE DURATION OF THE WORK.

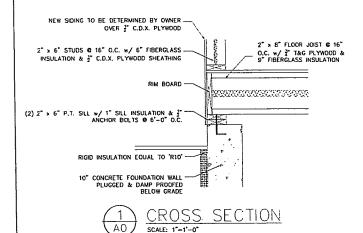
LICENSES: PLUMBING, FIRE PROTECTION, ELECTRICAL AND TEL/DATA WORK SHALL BE PERFORMED BY QUALIFIED, EXPERIENCED PERSONS CURRENTLY LICENSED IN THEIR RESPECTIVE TRADE.

ARCHITECT NOT RESPONSIBLE FOR EXISTING SITE CONDITIONS, OR EXISTING SITE OBSTRUCTIONS, CONTRACTOR AND OWNER TO FIELD LOCATE ANY AND ALL OBSTRUCTIONS, AND NOTIFY ARCHITECT IF ANY ITEMS IMPACTS STRUCTURE. ALL SITE INFORMATION TO BE COMPLETED AND VERIFIED BY CIVIL ENGINEER.

ALL NEW POCKET DOORS TO HAVE COMMERCIAL GRADE TRACK AND HARDWARE.

AIR BARRIER NOTE:

CONTRACTOR TO INSTALL CONTINUOUS PLYWOOD OR DRYWALL TO COMPLETELY ENCAPSULATE THE INSULATION IN ALL WALLS, FLOORS, CEILINGS, AND RAFTERS.



GENERAL DEMOLITION NOTES

SCOPE: DEMOLITION INCLUDES, BUT IS NOT LIMITED TO: FLOORING, CEILINGS, PARTITIONS, WALLS AND FINISHES AS INDICATED. COORDINATE EXTENTS OF DEMOLITION WITH CONSTRUCTION PLANS, AND PERFORM DEMOLITION AS NECESSARY TO COMPLETE THE NEW

VERIFICATION: FIELD VERIFY THE ACCURACY OF THE EXISTING CONDITIONS SHOWN IN THE CONSTRUCTION DOCUMENTS PRIOR TO BEGINNING DEMOLITION WORK, IMMEDIATELY NOTIFY THE OWNER AND ARCHITECT OF ANY DISCREPANCIES. UPON COMPLETION OF THE DEMOLITION WORK, NOTIFY THE OWNER AND ARCHITECT TO ALLOW THEIR INSPECTION AND EVALUATION OF CONDITIONS PREVIOUSLY CONCEALED. PROVIDE A COMPLETE LIST OF ALL VISIBLE WATER

PARTITIONS: WHERE STUD-FRAMED DRYWALL PARTITIONS, SOFFITS AND CEILINGS ARE INDICATED TO BE REMOVED, THIS SHALL MEAN DEMOLITION AND REMOVAL OF THE ENTIRE ASSEMBLY INCLUDING WALL FINSHES, FRAMING, BLOCKING, ACCESSORIES, TRIM, FIXTURES, ELECTRICAL DEVICES AND CONDUIT/WIRING. MAINTAIN ETR ELECTRICAL DEVICES AT OTHER ETR LOCATIONS SERVICED BY REMOVED CONDUITS.

SALVAGE WORK: CAREFULLY REMOVE/DISASSEMBLE ALL ITEMS INDICATED TO BE SALVAGED. TAKE PRECAUTIONS TO AVOID DAMAGING THE ITEM DURING THE REMOVAL OR DISASSEMBLY PROCESS. PER OWNER DIRECTION, STORE ALL SALVAGED ITEMS IN A SAFE, SECURE AND ENVIRONMENTALLY PROTECTED AREA, PROTECT ITEMS FROM DAMAGE DURING STORAGE. RE—INSTALL SALVAGED ITEMS AS INDICATED IN THE CONSTRUCTION DOCUMENTS.

TEMPORARY DISCONNECTION OF UTILITIES: TEMPORARILY DISCONNECT ALL ETR UTILITIES REQUIRED TO PERFORM THE INDICATED WORK. COORDINATE THIS WORK WITH THE OWNER PRIOR TO DISCONNECTING UTILITIES. SCHEDULE THE WORK AS NECESSARY TO MINIMIZE THE MAPACT TO THE OWNER. RE—CONNECT UTILITIES IMMEDIATELY AFTER COMPLETION OF THE WORK. RE—ROUTE UTILITIES/CONNECTIONS AS

REQUIRED TO PROCRESS AROUND NEW CONSTRUCTION, PROVIDE BLANK COVER PLATES AT RECEPTACLES INDICATED TO BE ABANDONED IN-PLACE.

PROTECTING ETR UTILITIES: VERIFY AND PROTECT ALL ETR CHASES PRIOR TO BEGINNING THE DEMOLITION WORK. DO NOT DAMAGE OR DISCONNECT EXISTING UTILITIES, UNLESS OTHERWISE NOTED. MAINTAIN FULL AND PROPER OPERATION OF THE BUILDING FIRE ALARM SYSTEM FOR THE DURATION OF THE DEMOLITION (AND CONSTRUCTION) WORK, REMOVING UTILITIES WITHIN THE DURATION OF THE DEMOLITION (AND CONSTRUCTION) WORK. REMOVING UILTHES WITHIN DEMOLISHED WORK: AT WALLS, PARTITIONS AND CASEWORK INDICATED TO BE DEMOLISHED, DISCONNECT AND REMOVE ALL PIPING, CONDUIT AND WRING BACK TO A POINT OF CONCEALMENT. PROPERTY CAP AND/OR PLUG TERMINATED ENDS. MARK LOCATIONS OF TERMINATED UTILITY LINES AND WRES. REMOVING SAFETY EQUIPMENT AT DEMOLISHED WORK: AT WALLS, PARTITIONS AND CASEWORK INDICATED TO BE DEMOLISHED.

PERMIT & DISPOSAL: OBTAIN ALL NECESSARY DEMOLITION PERMITS AND APPROVALS PRIOR TO PROCEEDING WITH THE WORK. DISPOSE OF ALL DEMOLISHED AND REMOVED MATERIALS IN A LEGAL METHOD PER APPLICABLE REGULATIONS. IMMEDIATELY NOTIFY THE OWNER AND THE BUILDING INSPECTOR OF ANY MATERIALS THAT ARE SUSPECTED OF CONTAINING HAZARDOUS

STRUCTURE: TAKE PRECAUTIONS TO PROPERLY SUPPORT STRUCTURES AFFECTED BY DEMOLITION WORK. CEASE DEMOLITION WORK AND NOTIFY ARCHITECT AND OWNER IMMEDIATELY IF THE SAFETY AND/OR STRUCTURE APPEARS TO BE ENDANGERED. DO NOT RESUME OPERATIONS UNTIL SAFETY IS RESTORED. STRUCTURAL MEMBERS SHALL NOT BE MODIFIED OR CUT WITHOUT THE APPROVAL OF THE ARCHITECT AND STRUCTURAL ENGINEER.

FLOOR PREP: REMOVE EXISTING FLOOR FINISH AND ADHESIVES IN AREAS TO RECEIVE NEW FLOOR FINISH, UNLESS OTHERWISE NOTED, PREP REMAINING SUBFLOOR SURFACE TO COMPLY WITH MANUFACTURER'S RECOMMENDATIONS.

CLEANUP: UPON COMPLETION OF THE DEMOLITION WORK, REMOVE ALL DEMOLITION DEBRIS, MATERIALS AND TOOLS FROM THE SITE. DO NOT LEAVE ANY UNSAFE CONDITIONS RESULTING FROM THE DEMOLITION WORK. SWEEP AND LEAVE THE SITE IN A CLEAN AND ORDERLY

WIND NOTES

ALL CONSTRUCTION SHALL CONFORM TO THE MASS, STATE BLDG, CODE 8th EDITION & LOCAL REGULATION FOR 110 MPH WIND REQUIREMENTS. WFMC — ONE AND TWO FAMILY MANUAL. FRAMED, ANCHORED, SHEATHED, AND FASTENED PER THE WIND ZONE EXPOSURE "B" CRITERIA.

EXTERIOR SHEATHING: TO BE A MIN OF \$\frac{7}{2}\subsets Structural Plywood Sheathing or \$\frac{3}{2}\subsets Cellulose FIBERBOARD SHEATHING AND ATTACHED PER TABLE 2 IN THE WFCM CHART WHEN STUDS ARE SPAEN OF TOLL HEIGHT SHEATHING IN WALL LINES IS PROVIDED IN TABLE 10 AND 11 AND MUST BE FOLLOWED. TO MEET THE REQUIREMENTS FOR THE PERCENTAGE FULL HEIGHT SHEATHING, FULL HEIGHT WALL SEGMENT SHALL NOT BE LESS THAN 27-1/2" IN AN 8' WALL, 31" IN A 9' WALL OR 34" IN A 10' WALL EXTERIOR SHEATHING SHALL BE CONTINUOUS FROM THE BOTTOM PLATE TO THE UPPER TOP PLATE, WITH ALL PANEL EDGES OVER FRAMING.

NAILING REQUIREMENTS

ROOF BLOCKING REQUIREMENTS: FIRST TWO RAFTER BAYS AT 2'-0" OC SPACING WITH 2-8D COMMON NAILS / 2 10D BOX NAILS EACH

ROOF SHEATHING REQUIREMENTS:

GABLE ENDWALL RAKE WITH GABLE OVERHANG 8D COMMON NAIL / 10D BOX NAIL 6" EDGE AND 6"

WALL SHEATHING REQUIREMENTS: WOOD STRUCTURAL PANELS STUDS AT 16" O.C. 8D COMMON NAIL / 10D BOX NAIL 6" EDGE AND 12"

GENERAL NOTES

ALL CONSTRUCTION SHALL CONFORM TO THE MASS. STATE BLDG, CODE 8th EDITION & LOCAL REGULATION

DO NOT SCALE DRAWINGS FOR DIMENSIONS, ALL GRADES APPROXIMATE ALL HEIGHTS TO BE CONFIRMED WITH SITE CONDITIONS

GENERAL CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION. EXISTING CONDITIONS SHOWN ON PLANS MUST BE VERIFIED PRIOR TO ANY WORK BEING PERFORMED BY THE CONTRACTOR, NOTIFY ARCHITECT / DESIGNER OF ANY ISSUES PRIOR TO CONSTRUCTION.

SEE SITE PLANS (BY OTHERS) FOR GRADING AND UTILITIES. SEE SITE PLANS (BY OTHERS) FOR ALL SITE LANDSCAPING & PROPERTY LINE LOCATIONS

MILLWORK SELECTION BY OWNER.

FIRE ALARM DEVICES & LOCATIONS FOR NEW & EXISTING TO BE REVISED & APPROVED BY LOCAL FIRE DEPT. ADD FIRE ALARMS IN EXISTING BEDROOMS PER THE MASS BUILDING CODE, HARD WIRE ALL SMOKE AND CARBON MONOXIDE DETECTORS PER MASS CODE.

ELECTRIC OUTLETS. SWITCHES & LIGHTING TO BE APPROVED BY OWNER

PROVIDE TEL. DATA & CABLE OUTLETS LOCATION TO BE APPROVED BY OWNER

ALL LUMBER SHALL BE NO. 2 OR BETTER 1,200 f REPETITIVE VALUE OR BETTER. (KILN DRIED)

ALL INTERIOR FINISHES ARE TO BE APPROVED BY OWNER PRIOR TO INSTALLATION

ALL NEW WINDOWS TO BE TILT-WASH, FOR EASY CLEANING. ALL WINDOWS ARE BASED ON AN HARVEY SERIES WINDOW TO MATCH EXISTING HOUSE. CONTRACTOR SHALL NOTIFY OWNER IF SUBSTITUTION IS MADE AND OWNER MUST UNDERSTAND

CONTRACTOR TO VERIFY ALL SITE GRADES AND STEP FOUNDATION WALLS ACCORDINGLY WITH SITE PLANS BY OTHERS DO NOT BEGIN EXCAVATION UNTIL A SITE LEVANTIONS HAVE BEEN APPROVED BY A CIVIL ENGINEER. ARCHITECT NOT RESPONSIBLE FOR GRADE HEIGHTS, INVERT HEIGHTS, OR ANY CIVIL ITEM.

PROVIDE CONTINUOUS SILL, SILL INSULATION AND TERMITE PROTECTION AROUND ENTIRE PERIMETER OF FOUNDATION WALL.

PROVIDE 1 LAYER OF TYVEK BUILDING PAPER OR EQUAL ON ALL EXPOSED WALL SURFACES PRIOR TO SIDING, TAPED AT ALL JOINTS AND SEAMS.

ALL IN WALL PLUMBING, ELECTRICAL, AND HVAC COMPONENTS PASSING THRU STUD WALLS TO BE COVERED WITH A METAL SHIELD PLATES TO PREVENT PUNCTURE

PROVIDE CORE VENT AND VENTED SOFFITS W/ AIR BAFFLES ALONG ENTIRE RIDGE, FACE OF HOUSE AND ENTIRE RUN OF RAFTERS. GABLE LOVERS ARE NOT PERMITTED WITH THE USE OF A CONTINUOUS RIDGE VENT SYSTEM.

ALL ROOF SHINGLES MUST BE A MIN OF 30 YEAR WARRANTY, ARCHITECTURAL SHINGLE, ALL SHINGLES MUST BE INSTALLED PER MANUFACTURES

RECOMMENDATIONS NOT TO VOID WARRANTY ALL WALLS SURROUNDING TUBS, SHOWERS, LAUNDRY AREAS MUST HAVE DUR-O ROCK SHEETING INSTEAD OF GYP BOARD.

ARCHITECT / DESIGNER IS NOT RESPONSIBLE FOR EXISTING STRUCTURAL CONDITIONS, OR STRUCTURAL ANALYSIS OF EXISTING FOUNDATION, EXISTING STRUCTURAL CONDITIONS ARE ASSUMED TO BE ACCURATE, IF CONTRACTOR FINDS DIFFERENT, PLEASE NOTIFY ARCHITECT / DESIGNER PRIOR TO CONSTRUCTION,
FAILURE TO DO SO RELIEVES ARCHITECT / DESIGNER OF ANY RESPONSIBILITY. A
CERTIFIED STRUCTURAL ENGINEER WILL BE HIRED AT OWNERS EXPENSE IF REQUIRED

FRAMING LINTEL SCHEDULE

FOUNDATION OPENING WOOD SPTG. ONE STORY			TWO STORIES	FOUNDATION OPENING SPANS IN GARAGE OR WALLS
HEADER	SPTG. ROOF	ONE STORY ABOVE	ABOVE	NOT SPTG, FLOORS OR ROOF
2-2"x4"	4'-0"	_	_	
2-2"x6"	6'-0"	4"-0"		-
2-2"x8"	8'-0"	6'-0"	_	10'-0"
2-2"x10	10'-0"	8'-0"	6'-0"	12'-0"
2-2"x12"	12'-0"	10'-0"	8'-0"	14'-0"

ENERGY NOTE: EXISTING CAVITIES

ALL EXISTING EXPOSED WALLS DURING CONSTRUCTION TO HAVE EXISTING WALL CAMTY FILLED WITH NEW INSULATION. INSULATION MUST FILL ENTIRE CANTY WITH AS MUCH INSULATION THAT THE EXISTING CANTY WILL ALLOW. ALL NEW WALL CONSTRUCTION MUST MEET THE REQUIREMENTS SET FORTH IN THE STRETCH ENERGY CODE. CONTRACTOR TO PROVIDE DOCUMENTATION TO LOCAL INSPECTOR OF ALL FINAL CAVITY THICKNESS AND INSULATION VALUES ACHIEVED DURING

GENERAL FRAMING NOTES

ALL CONSTRUCTION SHALL CONFORM TO THE MASS. STATE BLDG. CODE 8th EDITION & LOCAL REGULATION

ALL BEAMS ARE TO BE FLUSH FRAMED UNLESS NOTED OTHERWISE

ALL HEADERS TO BE 2"X10" WITH $\frac{1}{2}$ CDX PLYWOOD SPACER TYPICAL UNLESS NOTED OTHERWISE.

VERIFY ALL FRAMING ELEVATION PRIOR TO SETTING TOP PLATES.

ALL WALLS TO BE 2"x6" @ 16" o.c. TYPICAL UNLESS NOTED OTHERWISE.

PROVIDE HEAVY DUTY SIMPSON JOIST HANGERS AT ALL BEAM, FLOOR, AND DECK CONNECTIONS.

PROVIDE HURRICANE CLIPS AT ALL ROOF TO WALL INTERSECTIONS AND FLOOR TO FLOOR INTERSECTIONS

PROVIDE PLATE WASHERS AT ALL ANCHOR BOLTS AT SILL

PLYWOOD SHEETS MUST BE CONTINUOUS FROM SILL TO PLATE PER THE 8th EDITION FRAMING REQUIREMENTS FOR HIGH WIND ZONES AND LARGE

ALL CONNECTORS IN CONTACT w/ PRESSURE TREATED LUMBER OR CONCRETE MUST BE HOT DIPPED STAINLESS STEEL.

DOUBLE JOIST UNDER ALL PARALLEL WALLS ABOVE, AND ALL TUBS, SHOWERS, AND TOILET FIXTURES

PROVIDE SOLID BLOCKING AT MID-SPAN OF ALL FLOOR JOIST SPANS AND AT ALL CORNER WALLS

ALL LUMBER EXPOSED TO THE EXTERIOR OR POSSIBLE DAMP ENVIRONMENTS MUST BE PRESSURE TREATED.

ALL EXTERIOR WALL AND ROOF SHEATHING MUST BE 1 CDX PLYWOOD

ALL LUMBER MUST BE DOUGLAS FIR-LARCH $\sharp 2$ GRADE WITH A MIN FIBER STRESS OF 1,200 PSI, UNLESS NOTEO OTHERWISE OR UNLESS ENGINEERD LUMBER.

ALL COLLAR TIFS ARE TO BE 2"X6" @ 16"o.c. UNLESS NOTED OTHERWISE

ALL BEARING POST MUST ALIGN WITH BEAMS BELOW DOWN TO

PROVIDE GENERAL WALL BLOCKING FOR ALL HANDRAILS, TOILET ACCESSORIES, MILLWORK, AND ANY OTHER MISC. ITEMS.

CONTRACTOR RESPONSIBLE FOR ALL ENGINEERED FLOOR, WALL, AND ROOF FRAMING AND BEAMS, ALL STAMPS REQUIRED BY THE LOCAL BUILDING OFFICIAL SHALL BE PROVIDED BY A CERTIFIED STAMPED LUMBER COMPANY PROVIDED SHOP DRAWING AT CONTRACTORS EXPENSE FRAMING PLANS AND BEAM SIZES GENERATED PER THESE PLANS ARE BASED ON GENERAL LOAD DESIGNS FROM MANUFACTURES CATALOGS AND ARE SUBJECT TO CHANGE BASED

DO NOT CUT, NOTCH, OR DRILL THROUGH FLOOR & ROOF FRAMING MEMBERS WITHOUT VERIFYING WITH MASS BUILDING CODE FOR ALLOWABLE PARAMETERS.

ENERGY NOTES

ALL CONSTRUCTION SHALL COMPLY $\mbox{w/}$ MASS BUILDING CODE & IECC 2009 ENERGY STRETCH CODE WITH MASS STATE AMENDMENTS

WALLS AROUND HEATED SPACES SHALL BE 2x6 € 16" o.c.
WALL TO BE INSULATED w/ 6" FIBERGLASS INSULATION "R 20" & VAPOR
PARDING

EXTERIOR DOORS TO BE INSULATED METAL , & INSULATED GLASS w/ DEAD BOLTS & WEATHER STRIPPING TO COMPLY w/ MASS BUILDING CODE & IECC 2009 ENERGY CODE = U .30

WINDOWS SHALL BE VINYL COVERED WOOD w/ INSULATED GLASS & WEATHER-STRIPPING TO COMPLY w/ MASS BUILDING CODE = U .30

CEILING TO BE INSULATED W/ BLOWN-IN INSULATION "R 38" AND VAPOR BARRIER, ALTERNATE METHOD IS 9" FIBERGLASS BATT W/ RIGID BOARD IN THE STRAPPING CAVITY.

FLOOR INSULATION TO BE 6" FIBERGLASS INSULATION "R30"

SI AB PERIMETER INSULATION TO BE "R 10" 4'-0" DEEP OR APPROVED SLAB ON GRADE FLOOR INSULATION.

CEILING = "R38" (AIR BAFFLES @ EVES), FLOOR = "R30" , WALLS = "R20"

General Notes

Plans For:

2 Cedarcrest Ln.

Scituate, MA

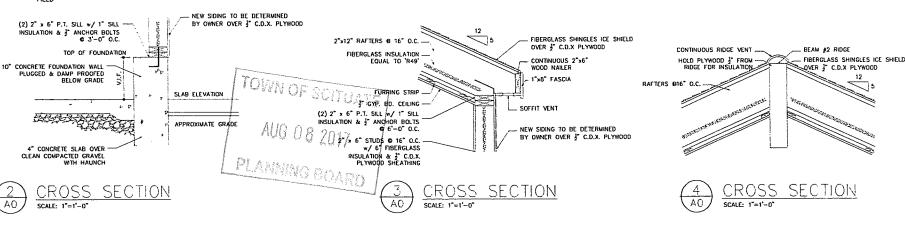
8,1,2016

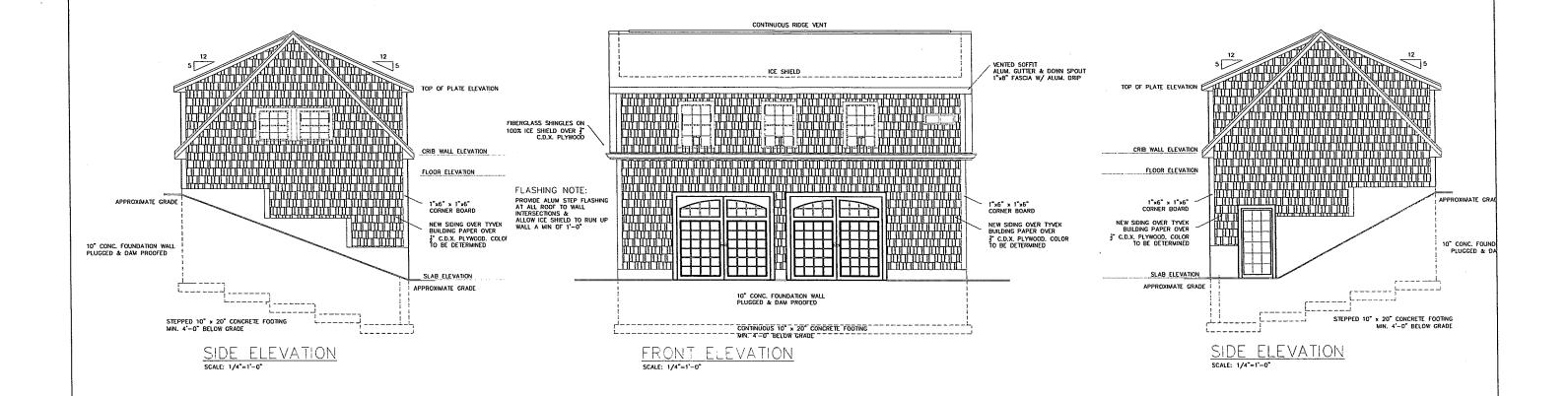
1" = 1'-0"

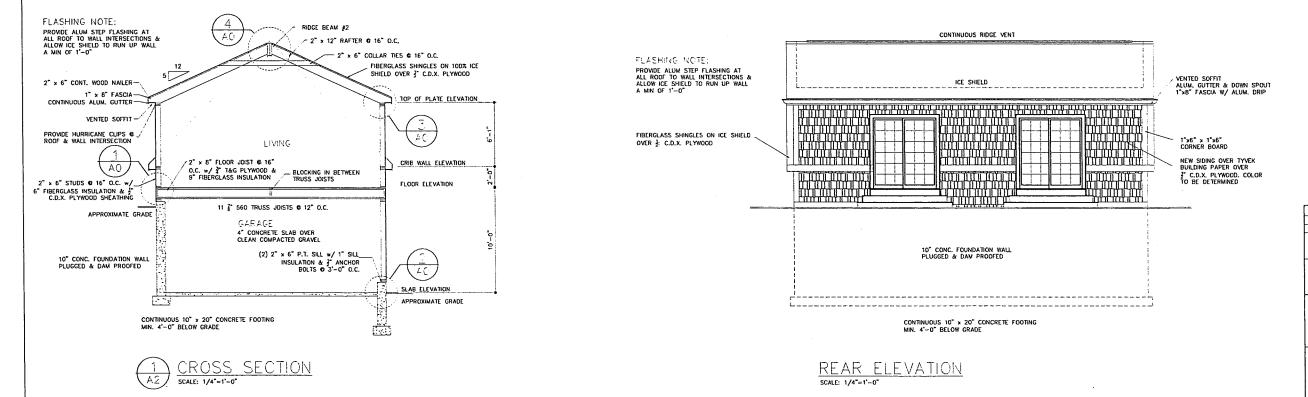
1601

SHEET NO

1 OF



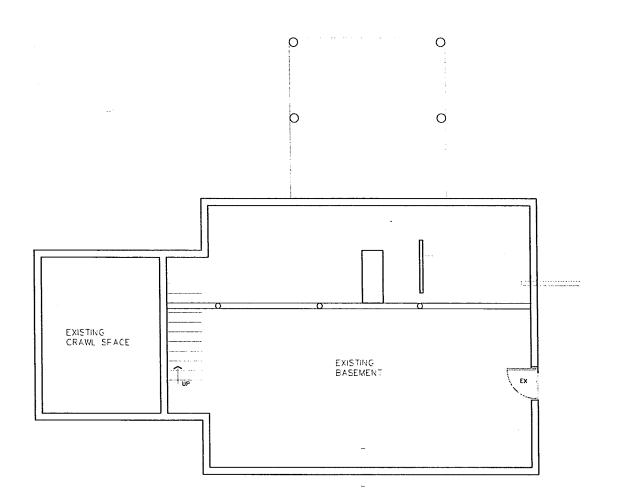




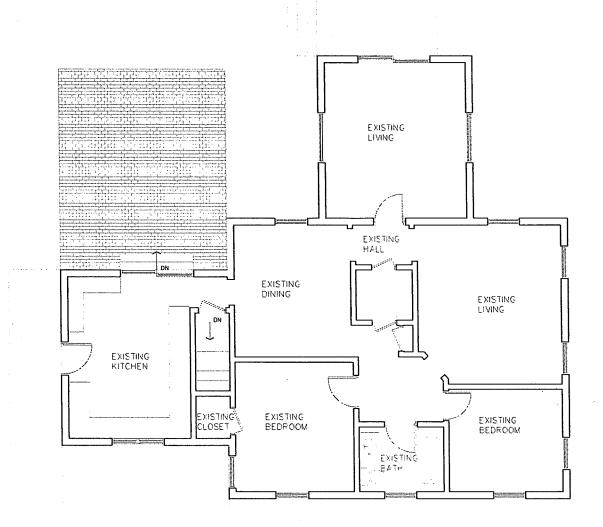
Proposed Elevations

Plans For:
2 Cedarcrest Ln. Scituate, MA

BATE:
1,0016
SCALE:
11/4" = 11-0"
PROJECT:
16011
DISTRICT OF 1
PROJECT:
16011
DISTRICT OF 1
D

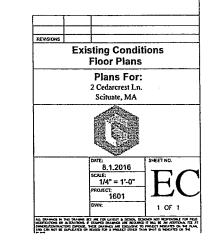


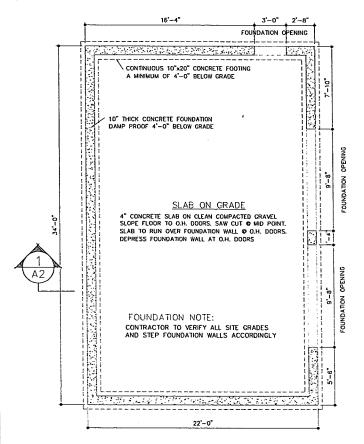
EXISTING BASEMENT FLOOR PLAN
SCALE: 1/4"=1"-0" 1,462 S.F. AREA



EXISTING FIRST FLOOR PLAN
SCALE: 1/4"=1"-0" 1,297 S.F. AREA

EXITING FIRST AND SECOND FLOOR FRAMING TO REMAIN, CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO CONSTRUCTION, CONTRACTOR





FOUNDATION PLAN SCALE: 1/4"=1"-0"

ALL CONSTRUCTION SHALL COMPLY W/ THE MASS, BLDG, CODE & LOCAL REGULATIONS.

ALL CONCRETE FOUNDATION WALLS SHALL BE 10" THICK w/ REINFORCING 2 # 5 TOP & BOTTOM REINFORCING & 4'-0" HIGH WALLS.

PROVIDE ANCHOR BOLTS PER WFCM ZONE B EXPOSURE, PLATE WASHERS, PLUG & DAMPROOF ALL FOUNDATION TIES BELOW GRADE, 3"x3"x1" PLATE WASHERS ON E DIA ANCHOR BOLTS, START 6" FROM EACH CORNER IN EACH DIRECTION, THEN SPACE THE BOLTS 38" o.c. PER TABLE 4 IN THE WFCM.

FOOTINGS SHALL NOT BE PLACED ON FROZEN GROUND OR WATER. FOUNDATIONS ARE DESIGNED FOR MINIMUM BEARING ON UNDISTURBED NATURAL SOIL OR COMPACTED STRUCTURAL FILL OF 2.0 TONS PER SQUARE FOOT.

ALL EXTERIOR FOOTINGS SHALL BE CARRIED A MINIMUM OF 4'-0" BELOW FINISH GRADE TO BOTTOM.

BACK FILL SHALL NOT BE PLACED AGAINST FOUNDATION WALLS UNLESS THEY ARE PROPERLY BRACED w/ THE FIRST FLOOR DECK OR EQUAL.

THE MINIMUM COMPRESSIVE STRENGTH OF CONCRETE AT THE END OF 28 DAYS SHALL BE 4,000 P.S.I.

SITE LAYOUT & GRADE INFORMATION IS APPROXIMATE. CONFIRM FINAL GRADES ETC. w/ SITE ENGINEER. SEE SITE PLAN FOR UTILITY LOCATIONS. PROVIDE SLEEVES FOR UTILITIES THRU WALL.

PROVIDE CONTINUOUS SILL WITH, PROPER FLASHING, TERMITE PROTECTION, AND PROPER ANCHORING PLATES REQUIRED FOR THE 7TH EDITION MASS BUILDING CODE

PROVIDE CONTINUOUS UNDER SLAB PERIMETER DRAIN AT FOOTING

BEAM #1- GARAGE HEADER

L =SPAN= 9'-0"

FIRST FLOOR LOAD =LIVE LOAD =40 PSF =DEAD LOAD =10 PSF

=10TAL LOAD =50 PSF 50 PSF x 11'-0"=550 PLF

ROOF LOAD

=LIVE LOAD =40 PSF =DEAD LOAD =10 PSF =TOTAL LOAD =50 PSF

50 PSF x 6'-0"=330 PLF + 112 PARTITION PLF

TOTAL LOAD=952 PLF

PARRALAM= 9 1 x 5 1 x 9'-6" = 1,614 PLF BEAM TO RUN CONTINUOUS

BEAM #2- RIDGE

L =SPAN= 34'-0"

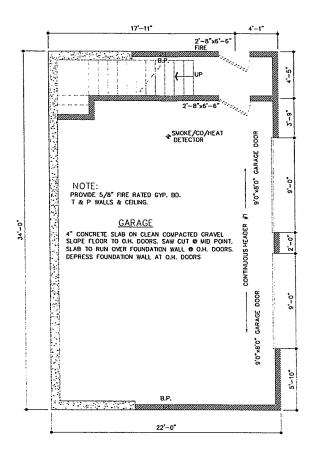
ROOF LOAD =LIVE LOAD =40 PSF =DEAD LOAD =10 PSF

> =TOTAL LOAD =50 PSF 50 PSF x 11'-0"=550 PLF

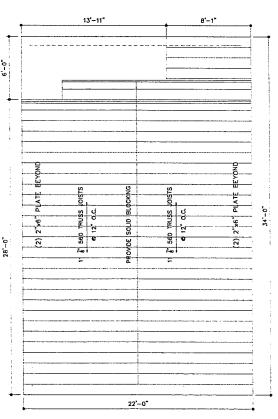
+ 75 SNOW DRIFT PLF

TOTAL LOAD=626 PLF

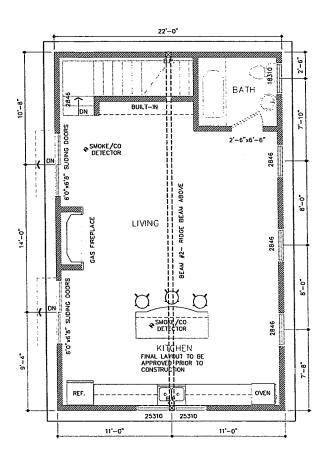
PARRALAM= 24" x 5 \ 1" x 34'+6" = xxx PLF TRUSS JOIST 2.7E PARALLAM



PROPOSED BASEMENT FLOOR PLAN



FLOOR FRAMING PLAN
SCALE: 1/4"=1"-0"



PROPOSED FIRST FLOOR PLAN SCALE: 1/4"=1"-0" 748 S.F. AREA

