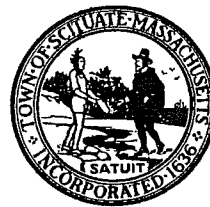


TOWN OF SCITUATE



600 Chief Justice Cushing Hwy
Scituate, Massachusetts 02066
Phone: 781-545-8730
FAX: 781-545-8704

Planning Board

Accessory Dwelling Special Permit – 2 Cedar Crest Lane
Decision: APPROVED with Conditions

Owner/Applicant: Karen Lynch
Date: August 23, 2017
Location: 2 Cedar Crest Lane
Assessor's Map: # 44-1-16
Plans: Plans entitled Location Plan, 2 Cedar Crest Lane, Scituate, MA by Morse Engineering, dated 6/6/17 with revisions of 7/27/17 and 8/8/17; elevations and floor plans including Drawings A0, A1, A2 and EC General Notes & Details, Proposed Floor Plans, Proposed Elevations and Existing Conditions Floor Plans dated 8/1/16 with revisions stamped in 8/8/17 for 2 Cedarcrest Lane; detail of typical permeable paver installation and infiltrator "ARC 36HD" (Heavy Duty) Leaching Chamber System; landscape foundation plans stamped in 8/8/17.

Members Hearing Special Permit Application: Stephen Pritchard, Chairman; Ann Burbine, Benjamin Bornstein, William Limbacher and Richard Taylor.

Background: The property lies in the Town of Scituate Residence R-2 Zoning District on a lot of approximately 17,175 sq. ft. according to the site plan submitted with the application. A portion of the property lies within the Town of Scituate Water Resources Protection District; however the proposed addition and its improvements are located outside of the district.

The applicant has requested approval to create a one bedroom accessory dwelling of approximately 748 sq. ft. within a detached garage with access off of Torrey's Lane. The accessory dwelling will be located above the garage. The existing house has three bedrooms. According to the Assessor's

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TOWN CLERK

records, the primary dwelling has a net floor area of 1,088 sq. ft. The area of the accessory dwelling is less than 750 sq. ft. so it is allowed by the bylaw; however it is 69% of the area of the primary dwelling. The applicant has signed a notarized statement saying that she intends to occupy one of the dwelling units.

The applicant is proposing that the accessory dwelling and primary dwelling will be served by an upgraded septic system. There is a driveway for the accessory dwelling and one for the primary dwelling which should provide four outside parking spaces to satisfy the requirement for two parking spaces for the accessory dwelling and two for the primary dwelling.

Procedural Summary: This request for a Special Permit was filed with the Town Clerk and the Planning Board on June 20, 2017. A Public Hearing before the Planning Board was duly advertised and notices sent to all abutters in accordance with MGL Chapter 40A. The hearing was opened on July 27, 2017 and continued until August 10, 2017 when it was closed and the Planning Board approved the Special Permit with conditions including the standard conditions.

Hearing Summary: The public hearing was opened on July 27, 2017 with Gregory Morse of Morse Engineering Inc. present. The hearing was continued until August 10, 2017 so that the applicant could provide a landscape plan as the Board was concerned about the visual impact to the neighborhood. The Planning Board approved the accessory dwelling special permit with conditions on August 10, 2017.

Public Comment: The Planning Board received a memorandum from Jennifer Keefe, Health Agent, on 7/20/2017 that the Board of Health has approved a four bedroom septic design plan for the property with the bedrooms and their locations consistent with the application package submitted to the Planning Board. John and Christine Harris of 9 Torrey's Lane submitted comments regarding the size of the accessory dwelling on the non-conforming lot, runoff and flooding, the addition of a septic system for two homes diminishing the character of the neighborhood, the width of Torrey's Lane, landscaping and concern of construction noise. At the hearing on 7/27/17, Mr. & Mrs. Harris conveyed their above concerns. Patricia Murphy of 7 Cedar Crest Lane commented that it looks like two structures on a small lot, was concerned with the runoff flowing down the street and that the neighborhood would be devalued.

For the August 10, 2017 hearing session, Mary Mulcahy, Robert Adams, Patricia Murphy and John and Christine Harris submitted comments. They all expressed concern regarding runoff/erosion issues and the additional separate structure on the lot. The Harris' were concerned with landscaping issues and construction noise. Mrs. and Mr. Harris expressed their written views orally at the public hearing as well as asking for a covenant in case there are stormwater issues afterward. Mike Mulcahy of 21 Torrey's Lane said he has similar concerns as the Harris' due to his sump pump running 24/7 and the very high groundwater table. He said he couldn't do termite control due to the high water table. Ms. Murphy expressed concern that she does not want to see the Town ruined as is happening with development. Ms. Harris inquired what her recourse was as an abutter if there was damage to her property or flooding. Ms. Harbottle said that the special permit conditions are not followed that is a zoning violation and can be enforced.

Findings of fact: A motion was duly made and seconded to make the following Findings of Fact concerning the accessory dwelling at 2 Cedar Crest Lane:

1. On June 20, 2017, Karen Lynch applied for a special permit for an accessory dwelling proposed to be in a detached garage unit on a single family house lot at 2 Cedar Crest Lane.
2. According to the Town of Scituate Assessor's Field Card, the existing house has a net area of 1,088 sq. ft. and three bedrooms. The accessory dwelling with one bedroom will be 69% of the floor area of the primary dwelling. Based on the application, the interior floor space of the proposed accessory dwelling will be 748 sq. ft. This is less than the maximum of 750 sq. ft. allowed by the Zoning Bylaw. The accessory dwelling meets the size requirements of Section 530.2F.
3. The property is non-conforming as to lot area. A special permit to allow expansion was approved by the Zoning Board of Appeals on July 24, 2017.
4. The Location Plan dated 6-6-17 shows two driveways. One is off Cedar Crest Lane. It is bituminous concrete and has room for at least two cars. The second driveway is proposed off of Torrey's Lane. It is proposed as pervious material and has room for two cars. The new garage will also contain sufficient room for two vehicles. This appears adequate to provide two parking spaces for the accessory dwelling and sufficient parking for the primary dwelling.
5. The owner has submitted a signed, notarized statement that she will live on the property.
6. The detached garage complies with all required setback, building height and yard requirements for a primary structure.
7. A memo dated July 20, 2017 from Jennifer Keefe, Health Agent, indicates a four bedroom septic design plan for the property has been approved.
8. There are two means of egress, a slider door to the deck and an outside stair to the garage.
9. The application meets the standards of the Scituate Zoning Bylaw for an Accessory Dwelling Special Permit.

Decision: A motion was duly made and seconded to approve the Special Permit for an accessory dwelling at 2 Cedar Crest Lane with the following conditions and standard conditions for accessory dwellings:

- 1) Except for any changes necessary to meet these conditions, any construction shall conform to the plans entitled Location Plan, 2 Cedar Crest Lane, Scituate, MA by Morse Engineering, dated 6/6/17 with revisions of 7/27/17 and 8/8/17; elevations and floor plans including Drawings A0, A1, A2 and EC General Notes & Details, Proposed Floor Plans, Proposed Elevations and Existing Conditions Floor Plans dated 8/1/16 with revisions stamped in 8/8/17 for 2 Cedarcrest Lane.

- 2) The number of bedrooms in the accessory dwelling is limited to one in the location and size indicated on the floor plan submitted with the application. The number of bedrooms in the primary dwelling is limited to three. The applicant will provide an updated floor plan prior to installation.
- 3) The accessory dwelling shall conform to all applicable standards in the building, plumbing, electrical, mechanical, fire and health codes and bylaws.
- 4) Per the direction of the DPW Water Division, the water service for the accessory dwelling can connect with that serving the existing house (after the water meter) or from a new service to be installed from Cedar Crest Lane. Under no circumstances is the accessory dwelling to be serviced by water from Torrey's Lane.
- 5) Stormwater runoff must be contained onsite during construction and after construction is completed. In addition to a stabilized construction entrance and silt sock to be located at the downhill side of the property along Torrey's Lane, stormwater runoff during construction shall be directed to one or more siltation sumps or devices approved by the Planning Office that is appropriately sized to handle runoff during construction. This device and other erosion control shall be in place and inspected by the Planning Office prior to any foundation work commencing. The applicant shall inform her contractor that he or she is required to contact the Planning Office prior to the start of construction. A construction sequence of activities shall be provided to the Planning Office with detail for erosion control, foundation, building and septic system installations.
- 6) A new site plan shall be submitted showing a detail of the pervious pavers, a construction sequence of activities and stormwater runoff control measures as described in Condition 5. The decision shall not be filed with the Town Clerk until this new plan is satisfactorily submitted to the Planning Office. The new site plan shall include the above as well as an operation and maintenance plan for the pervious pavers to preserve their ability to infiltrate stormwater. Yearly documentation of maintenance must be provided to the Planning Office.
- 7) Construction work shall not begin prior to 7:00 am weekdays and 8:00 am on Saturdays and shall cease no later than 7:00 pm or sunset whichever is earlier. No construction shall take place on Sundays or legal/federal holidays. Construction includes idling of vehicles, delivery of materials to the site and all other construction activities.
- 8) Six evergreen shrubs of a minimum size of three feet shall be installed between the impervious barrier of the septic system and property line to help screen the accessory dwelling. A plan shall be provided to the Planning Board prior to implementation.
- 9) The standard conditions for accessory dwellings approved by the Planning Board shall be conditions of this decision and shall be included for recording at the Registry of Deeds.

- A. The applicant shall meet all requirements of the Building Department, Board of Health, Department of Public Works, Fire Department, Water Department, Conservation Commission and other town agencies.
- B. The property shall contain a maximum of two dwelling units, the primary dwelling and the accessory dwelling as proposed. The footprint, number of bedrooms and/or square footage shall not be increased without prior approval of the Planning Board.
- C. The owner of the property shall reside on the property as long as it contains an accessory dwelling unit.
- D. The Planning Board may require an on-site inspection for conformance to the approved plans and these conditions prior to the issuance of a Certificate of Occupancy for the accessory dwelling.
- E. An Accessory Dwelling Special Permit Certification of Ownership and Occupancy signed by the new owner shall be provided to the Planning Board within seven days of the closing of the sale of the house. It is recommended that this be signed at the closing.
- F. At any time, at the request of the Planning Board the owner shall provide a notarized affidavit indicating that either the primary or accessory unit is owner occupied.
- G. No on-street parking by occupants of the primary or accessory dwelling shall be permitted at any time.
- H. Construction vehicles/equipment shall not idle, be parked, stored, loaded or unloaded in the street.
- I. This Special Permit shall be void if it is not recorded at the Registry of Deeds within 90 days of the date of filing with the Town Clerk. The owner shall provide proof of this recording to the Planning Board.
- J. This Special Permit shall lapse within two years from the date of its issuance unless substantial use or construction has commenced prior to that time in accordance with MGL Chapter 40A, Section 9.
- K. The Planning Board reserves the right to review compliance with this special permit at any time. This Special Permit shall terminate if the use is not in accordance with this decision and its conditions.

Vote:

Based on the Findings of Fact and the evidence and information provided by the applicant and obtained through the public hearings, the members of the Planning Board hearing this application voted unanimously to approve the Special Permit for an Accessory Dwelling at 2 Cedar Crest Lane with the conditions noted above.

August 10, 2017

Date

SCITUATE PLANNING BOARD

~~B. Abbott~~

Anna Burpina

Richard W. Taylor

William Luchner

This decision was filed with the Town Clerk on August 24, 2017
date

Appeal of this special permit may be made pursuant to M.G.L. Chapter 40A, Section 17, and shall be filed in a court of competent jurisdiction. Proof of that filing shall be provided to the Town Clerk within twenty (20) days of the date of the filing of the decision with the Town Clerk.

This special permit will not become effective until such time as an attested copy of this decision has been filed with the Plymouth County Registry of Deeds, after the expiration of the appeal period of twenty (20) days.

The Planning Board certifies that it has complied with all statutory requirements of MGL Chapter 40A, Sections 9 and 11, and will file copies of this decision with the Town Clerk. The Planning Board further certifies that it has taken into consideration all testimony rendered at the Public Hearing, the comments and suggestions of other boards which have reviewed and made comments on the plans

Long-Term Operation & Maintenance Plan
Best Management Practices
2 Cedar Crest Lane
Scituate, MA

Responsible Parties & Contact Information:

Owner:

Karen Lynch
2 Cedar Crest Lane
Scituate, MA 02066

The property owner shall be responsible for operation and maintenance.

Record Keeping:

The responsible party shall maintain an operation and maintenance log for a minimum of three years prior including inspections, repairs, replacement and disposal. The log shall be kept on-site at all times.

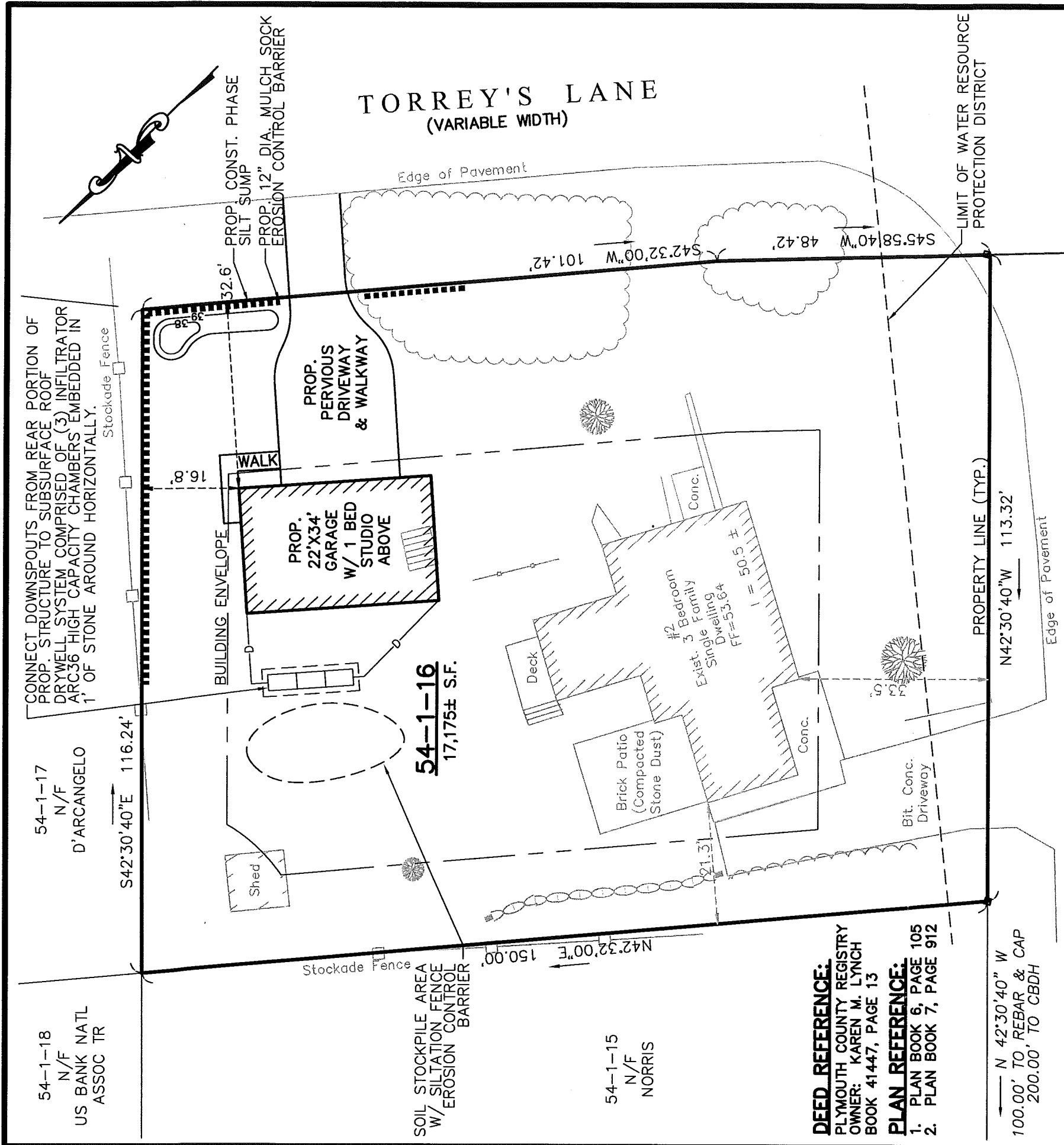
Operation & Maintenance:

In order to maintain the integrity of the stormwater management system, frequent inspections and maintenance shall be performed by the owner. The BMPs require continuous inspections and maintenance in order to function properly. The BMPs should be inspected and maintained as specified and after all major storm events.

Gutter & Downspout Systems shall be inspected quarterly. Material observed within any gutter or downspout shall be removed and disposed of in accordance with all applicable local, state and federal regulations.

Roof Drywells shall be checked for infiltrative capacity on a quarterly basis and after any significant rainfall event. Additional inspections should be scheduled during the first few months to make sure that the chambers are exfiltrating within 72 hours of all storms. It is recommended that "gutter guards" be installed on the roof gutter system to prevent leaves and tree debris from entering the subsurface system. Material observed within any roof drywell shall be removed and disposed of in accordance with all applicable local, states and federal regulations.

Pervious Paver Driveway shall be kept clear of debris. A push broom or leaf blower can be used to remove debris as needed. It is recommended to remove debris bi-monthly with additional removal in the fall as needed. Check for infiltrative capacity quarterly. To restore the system, a power washer can be used to remove debris and stone between pavers. Replace stone between pavers with 1/4"-3/8" stone (AASHTO #8 or #9).



DEED REFERENCE:
 PLYMOUTH COUNTY REGISTRY
 OWNER: KAREN M. LYNCH
 BOOK 41447, PAGE 13

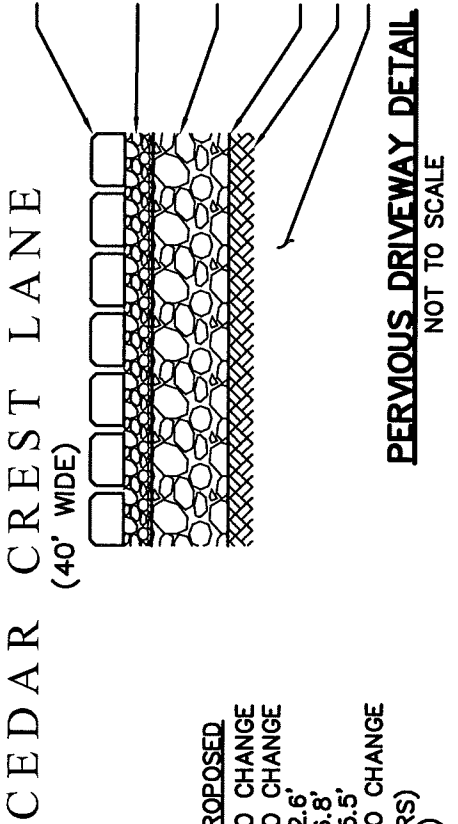
PLAN REFERENCE:
 1. PLAN BOOK 6, PAGE 105
 2. PLAN BOOK 7, PAGE 912

ZONING REQUIREMENTS
 SCITUATE RESIDENCE R-2 ZONING DISTRICT

	REQUIRED	EXISTING	PROPOSED
LOT AREA	20,000 S.F.	17,175± S.F.	NO CHANGE
FRONTAGE	100'	263.16'	NO CHANGE
FRONT SETBACK	30'	33.5'	32.6'
SIDE SETBACK	15'	21.3'	16.8'
REAR SETBACK	30'	87.3'	65.5'
LOT WIDTH	125'	150'	NO CHANGE

EXISTING FLOOR AREA = 1,088 S.F. (PER ASSESSORS)
 PROPOSED LIVING AREA=748 S.F. (68.8% INCREASE)

- NOTES:**
- PROPERTY LIES IN FEMA FLOOD ZONE "X" AS SHOWN ON FEMA COMMUNITY MAP PANEL 25023C 0136K DATED JULY 17, 2012. ZONE X IS DESCRIBED AS AN AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.
 - LOCUS LIES WITHIN THE TOWN OF SCITUATE RESIDENCE R-2 ZONING DISTRICT.
 - A PORTION OF THE LOT LIES WITHIN THE TOWN OF SCITUATE WATER RESOURCE PROTECTION DISTRICT. THE PROPOSED ADDITION IS LOCATED OUTSIDE OF THIS DISTRICT.
 - EROSION CONTROL SHALL BE IN PLACE AND INSPECTED BY THE PLANNING OFFICE PRIOR TO ANY SITE WORK COMMENCING.
 - CONSTRUCTION WORK SHALL NOT BEGIN PRIOR TO 7:00 AM WEEKDAYS AND 8:00 AM ON SATURDAYS AND SHALL CEASE NO LATER THAN 7:00 PM OR SUNSET WHICH IS EARLIER. NO CONSTRUCTION SHALL TAKE PLACE ON SUNDAYS OR LEGAL/FEDERAL HOLIDAYS. CONSTRUCTION INCLUDES DELIVERY OF MATERIALS TO THE SITE & IDLING VEHICLES.



- CONSTRUCTION SEQUENCE:**
- INSTALL EROSION CONTROL INCLUDING SILT SUMP.
 - STRIP TOP SOIL
 - EXCAVATE AND POUR FOUNDATION.
 - INSTALL WATER SERVICE FROM HOUSE.
 - CONSTRUCT STRUCTURE.
 - INSTALL SEPTIC SYSTEM.
 - INSTALL DRIVEWAY
 - LOAM, SEED & LANDSCAPE.

PREPARED BY:

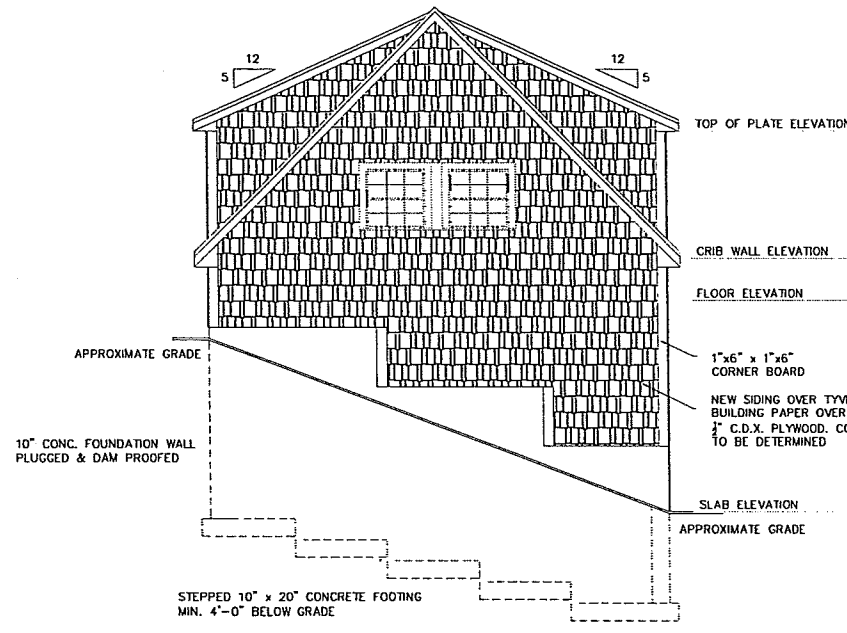
MORSE ENGINEERING CO., INC.
 19 UNION STREET
 P.O. BOX 92
 SCITUATE, MA 02066
 T: 781-545-0895

PREPARED FOR: KAREN LYNCH

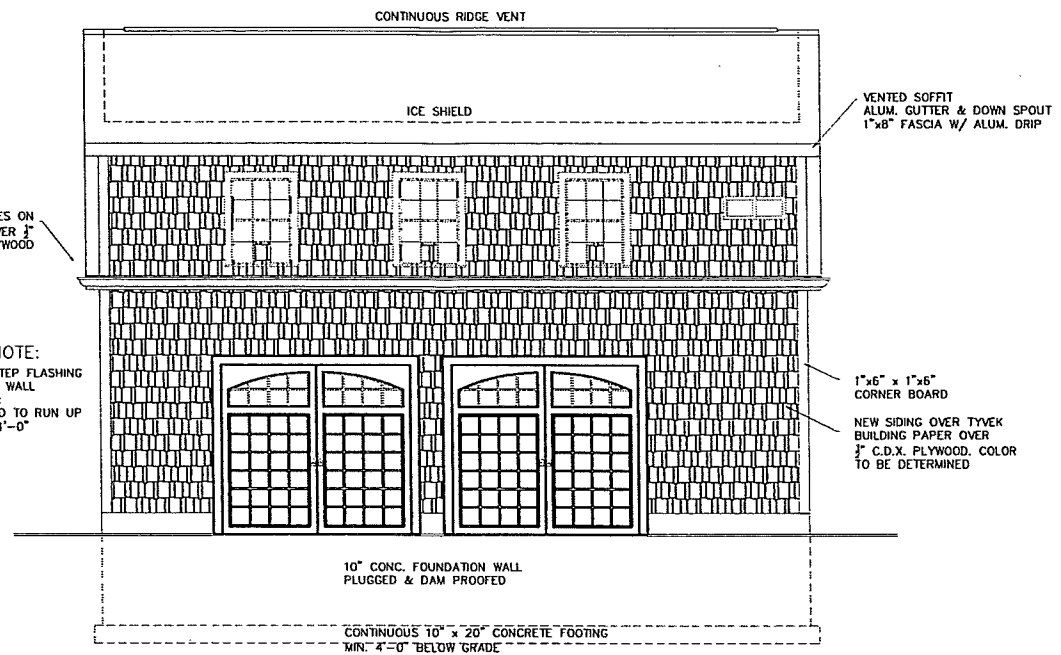
PROJECT: LOCATION PLAN
 2 CEDAR CREST LANE
 (ASSESSOR'S PARCEL 54-1-16)
 SCITUATE, MASSACHUSETTS

DRAWN:	JMH	CHECK:	SM	JOB NO:	15-134	DATE:	6/6/17	REVISED:	7/27/17
									8/8/17*
									8/24/17*

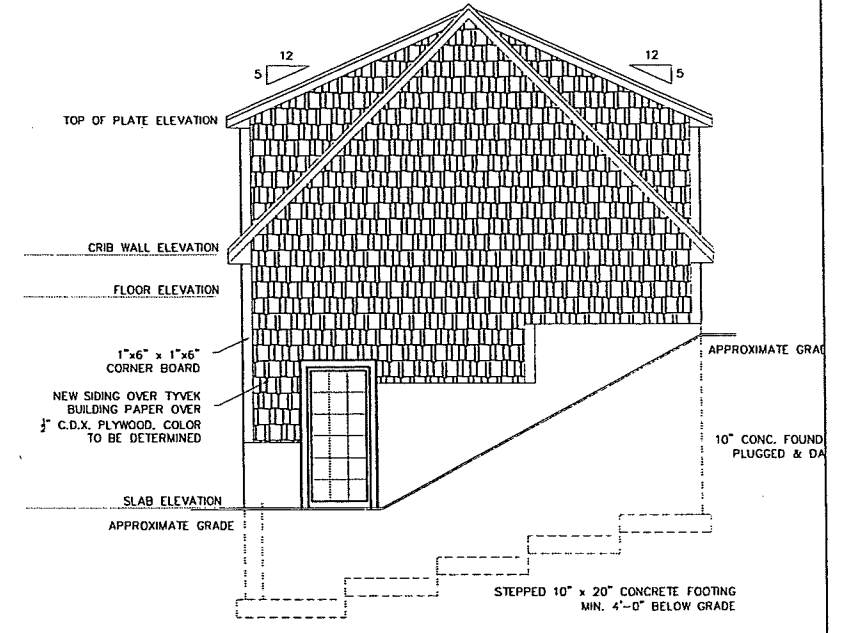
*REV. 8/8/17 TO DEPICT PERVIOUS WALKWAY AND REDUCE WIDTH OF PERVIOUS DRIVEWAY.
 *REV. 8/24/17 PER ACCESSORY DWELLING SPECIAL PERMIT CONDITIONS OF APPROVAL.



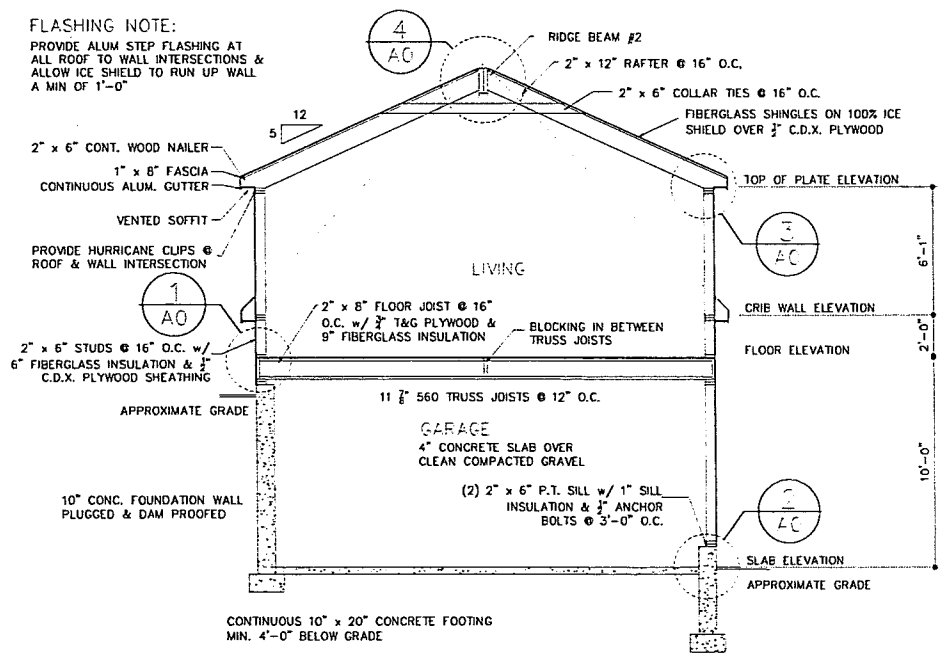
SIDE ELEVATION
SCALE: 1/4"=1'-0"



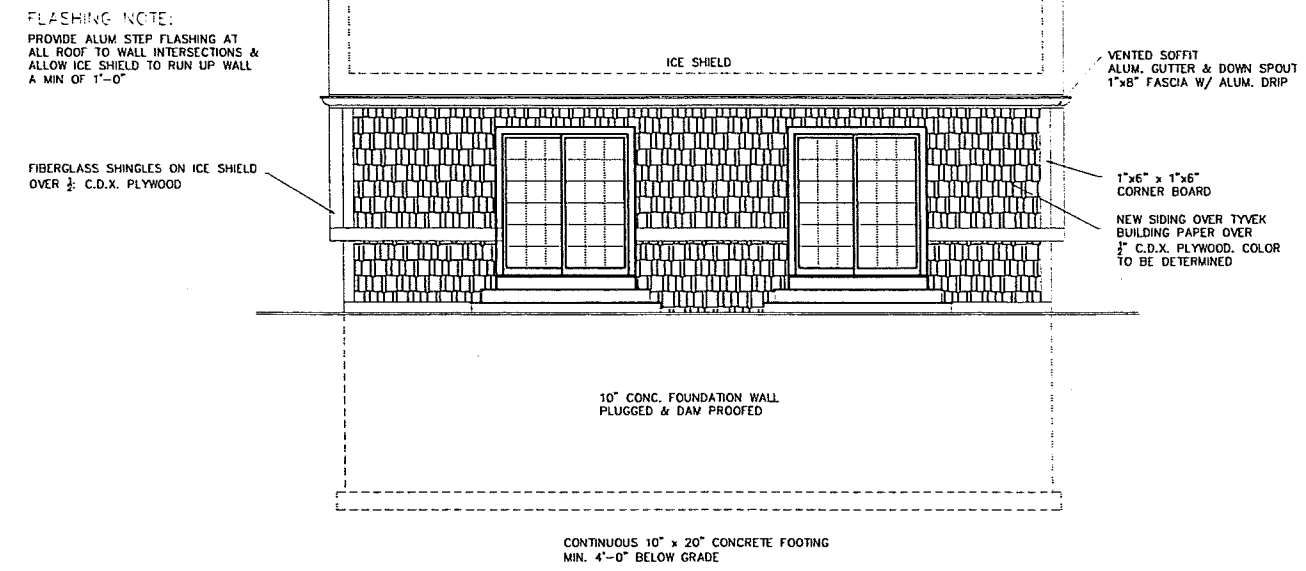
FRONT ELEVATION
SCALE: 1/4"=1'-0"



SIDE ELEVATION
SCALE: 1/4"=1'-0"



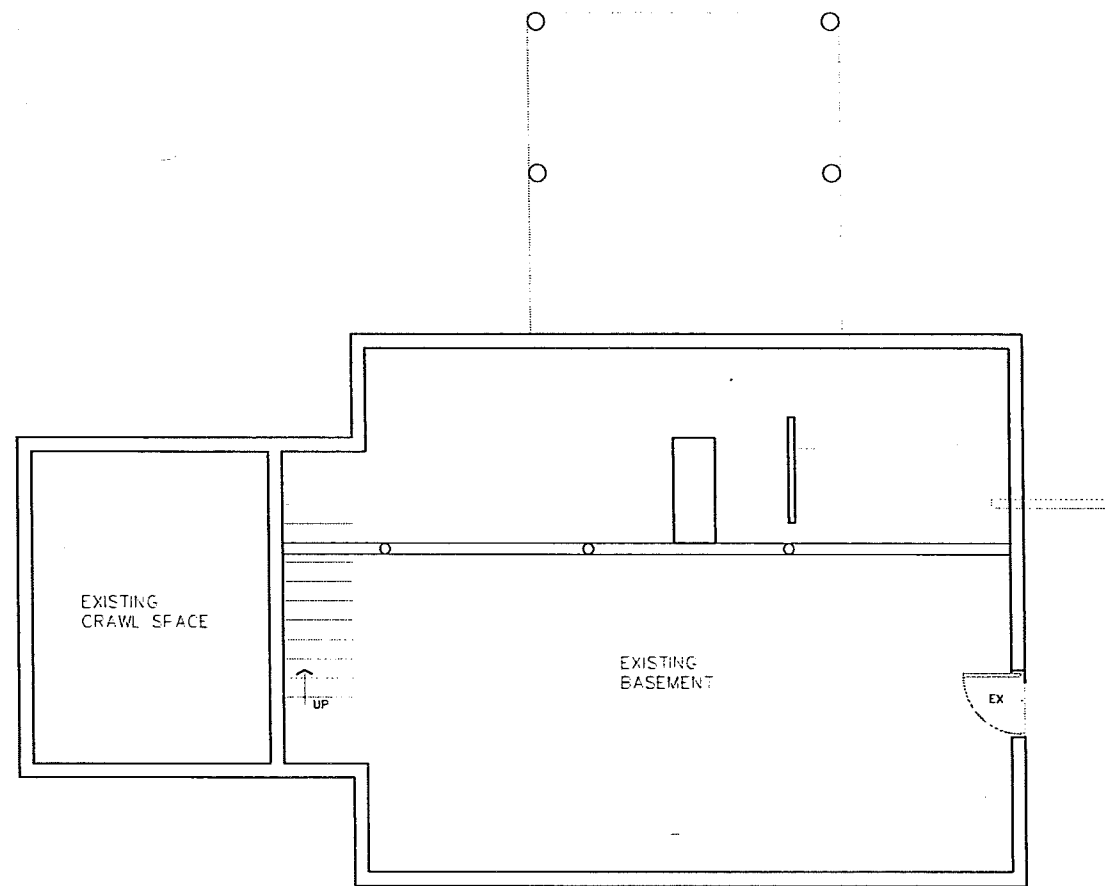
CROSS SECTION
SCALE: 1/4"=1'-0"



REAR ELEVATION
SCALE: 1/4"=1'-0"

REVISIONS	
Proposed Elevations	
Plans For: 2 Cedarcrest Ln. Scituate, MA	
DATE: 8.1.2016	SHEET NO. A2
SCALE: 1/4" = 1'-0"	PROJECT: 1601
DWN:	1 OF 1

ALL DRAWINGS IN THIS SETTING ARE FOR APPROXIMATE QUANTITIES AND SHOULD NOT BE USED FOR BIDDING OR CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFICATION OF ALL DIMENSIONS AND CONDITIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSURANCE COVERAGE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY UTILITIES INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY RECORD DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY RECORD DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY RECORD DRAWINGS.




EXISTING BASEMENT FLOOR PLAN
 SCALE: 1/4"=1'-0" 1,452 S.F. AREA

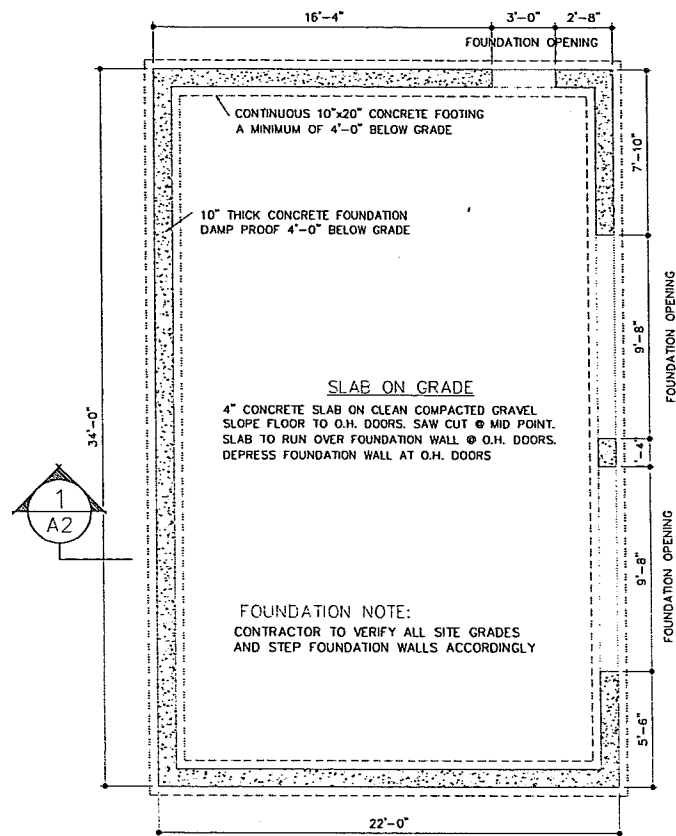


EXISTING FIRST FLOOR PLAN
 SCALE: 1/4"=1'-0" 1,297 S.F. AREA

EXISTING FIRST AND SECOND FLOOR FRAMING TO REMAIN. CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO CONSTRUCTION. CONTRACTOR

REVISIONS	
Existing Conditions Floor Plans	
Plans For: 2 Cedarcrest Ln. Scituate, MA	
	
DATE: 8.1.2016	SHEET NO. EC
SCALE: 1/4" = 1'-0"	1 OF 1
PROJECT: 1601	
DRAWN:	

ALL DRAWINGS IN THIS DRAWING SET ARE FOR LAYOUT & DESIGN. DESIGNER NOT RESPONSIBLE FOR FIELD VERIFYING OR CONSTRUCTION OF DRAWINGS OR CONDITIONS AS SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL EXISTING CONDITIONS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THESE DRAWINGS ARE EXCLUSIVE TO PROJECT INDICATED ON THE PLAN AND CAN NOT BE REPRODUCED OR USED FOR A PROJECT OTHER THAN THAT WHICH IS INDICATED ON THE PLAN.



FOUNDATION PLAN

SCALE: 1/4"=1'-0"

ALL CONSTRUCTION SHALL COMPLY w/ THE MASS. BLDG. CODE & LOCAL REGULATIONS.

ALL CONCRETE FOUNDATION WALLS SHALL BE 10" THICK w/ REINFORCING 2 # 5 TOP & BOTTOM REINFORCING @ 4'-0" HIGH WALLS

PROVIDE ANCHOR BOLTS PER WFCM ZONE B EXPOSURE, PLATE WASHERS, PLUG & DAMPROOF ALL FOUNDATION TIES BELOW GRADE, 3"x3"x1/2" PLATE WASHERS ON 1/2" DIA ANCHOR BOLTS, START 6" FROM EACH CORNER IN EACH DIRECTION, THEN SPACE THE BOLTS 36" o.c. PER TABLE 4 IN THE WFCM.

FOOTINGS SHALL NOT BE PLACED ON FROZEN GROUND OR WATER. FOUNDATIONS ARE DESIGNED FOR MINIMUM BEARING ON UNDISTURBED NATURAL SOIL OR COMPACTED STRUCTURAL FILL OF 2.0 TONS PER SQUARE FOOT.

ALL EXTERIOR FOOTINGS SHALL BE CARRIED A MINIMUM OF 4'-0" BELOW FINISH GRADE TO BOTTOM.

BACK FILL SHALL NOT BE PLACED AGAINST FOUNDATION WALLS UNLESS THEY ARE PROPERLY BRACED w/ THE FIRST FLOOR DECK OR EQUAL.

THE MINIMUM COMPRESSIVE STRENGTH OF CONCRETE AT THE END OF 28 DAYS SHALL BE 4,000 P.S.I.

SITE LAYOUT & GRADE INFORMATION IS APPROXIMATE. CONFIRM FINAL GRADES ETC. w/ SITE ENGINEER. SEE SITE PLAN FOR UTILITY LOCATIONS. PROVIDE SLEEVES FOR UTILITIES THRU WALL.

PROVIDE CONTINUOUS SILL WITH PROPER FLASHING, TERMITES PROTECTION, AND PROPER ANCHORING PLATES REQUIRED FOR THE 7TH EDITION MASS BUILDING CODE

PROVIDE CONTINUOUS UNDER SLAB PERIMETER DRAIN AT FOOTING

BEAM #1 - GARAGE HEADER

L = SPAN = 9'-0"

FIRST FLOOR LOAD = LIVE LOAD = 40 PSF
 = DEAD LOAD = 10 PSF
 = TOTAL LOAD = 50 PSF
 50 PSF x 11'-0" = 550 PLF

ROOF LOAD = LIVE LOAD = 40 PSF
 = DEAD LOAD = 10 PSF
 = TOTAL LOAD = 50 PSF
 50 PSF x 6'-0" = 300 PLF
 + 112 PARTITION PLF

TOTAL LOAD = 962 PLF

PARRALAM = 5 1/2" x 5 1/2" x 9'-6" = 1,614 PLF
 BEAM TO RUN CONTINUOUS

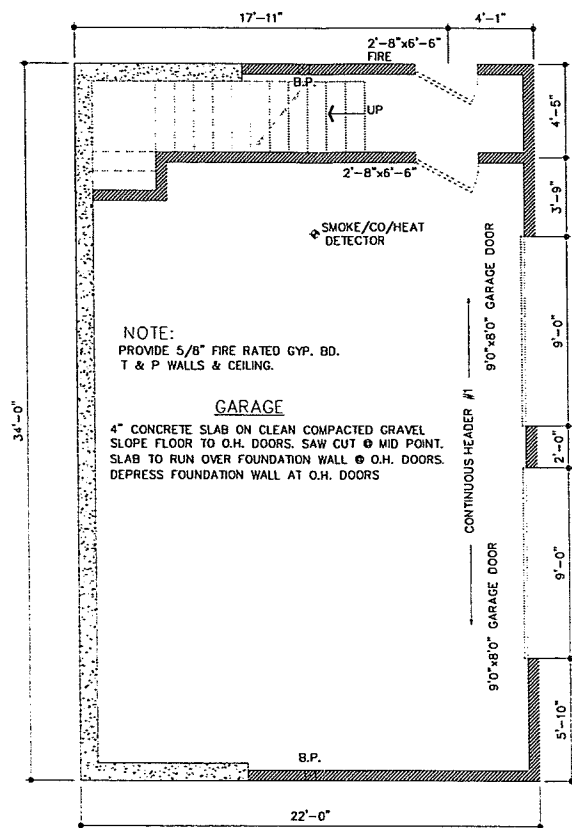
BEAM #2 - RIDGE

L = SPAN = 34'-0"

ROOF LOAD = LIVE LOAD = 40 PSF
 = DEAD LOAD = 10 PSF
 = TOTAL LOAD = 50 PSF
 50 PSF x 11'-0" = 550 PLF
 + 75 SNOW DRIFT PLF

TOTAL LOAD = 626 PLF

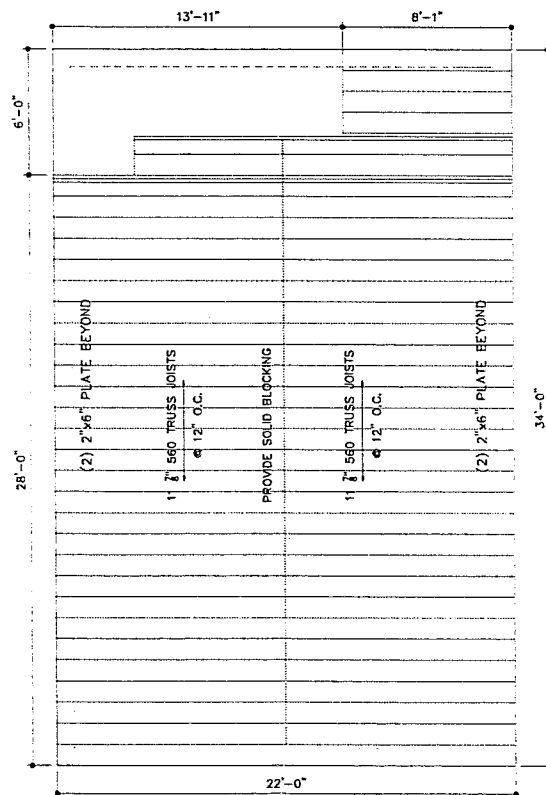
PARRALAM = 24" x 5 1/2" x 34'-6" = xxx PLF
 TRUSS JOIST 2.7E PARRALAM



PROPOSED BASEMENT FLOOR PLAN

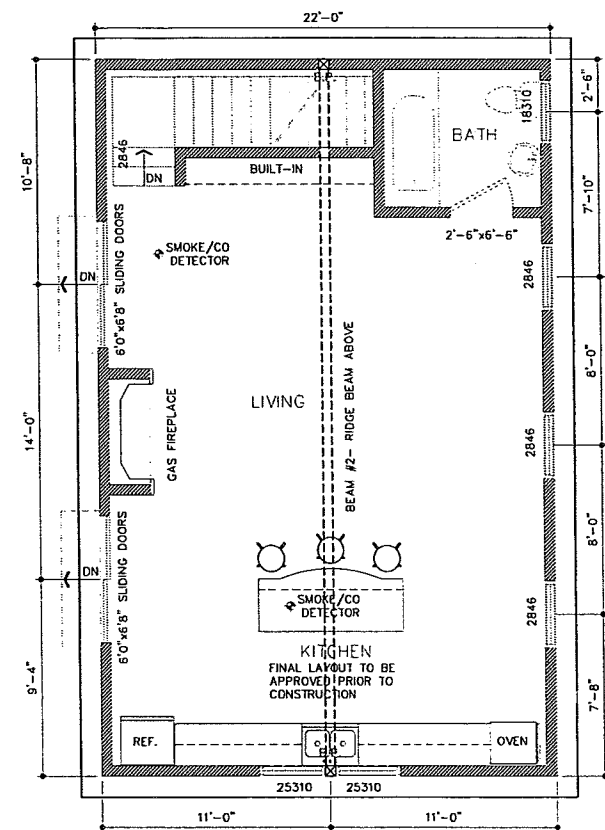
SCALE: 1/4"=1'-0"

748 S.F. AREA



FLOOR FRAMING PLAN

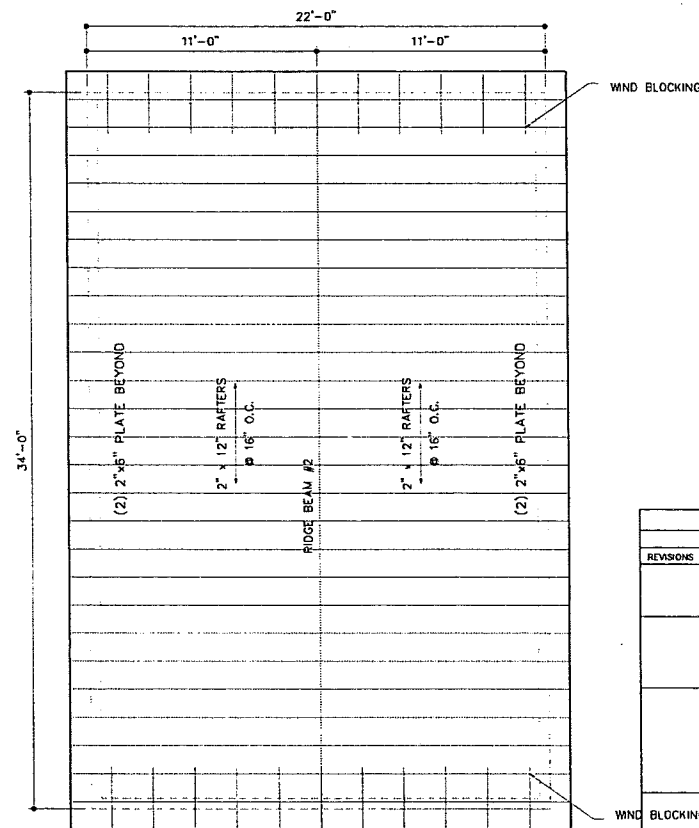
SCALE: 1/4"=1'-0"



PROPOSED FIRST FLOOR PLAN

SCALE: 1/4"=1'-0"

748 S.F. AREA



ROOF FRAMING PLAN

SCALE: 1/4"=1'-0"

REVISIONS	
Proposed Floor Plans	
Plans For: 2 Cedarcrest Ln. Scituate, MA	
DATE: 8.1.2016	SHEET NO. A1
SCALE: 1/4" = 1'-0"	1 OF 1
PROJECT: 1601	
DRAWN:	

ALL DRAWINGS IN THIS SET ARE FOR LAYOUT & DESIGN. DESIGNER NOT RESPONSIBLE FOR FIELD VERIFICATION OF ALL DIMENSIONS. FIELD VERIFICATION AND RECORDING TO BE BY CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND RECORDING TO BE BY CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND RECORDING TO BE BY CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND RECORDING TO BE BY CONTRACTOR.