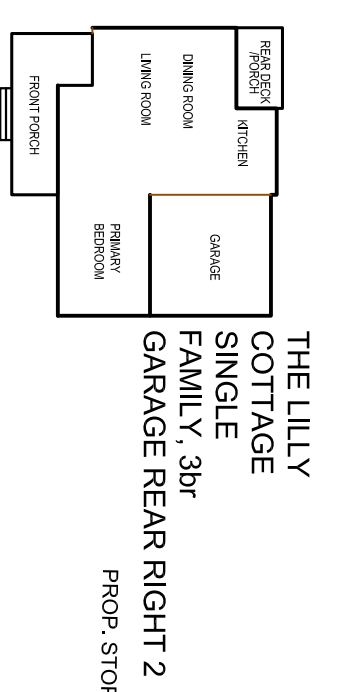
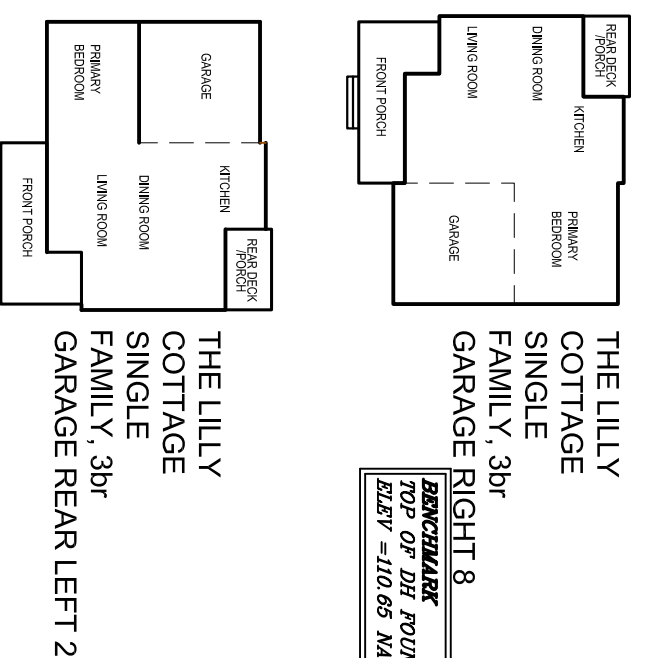
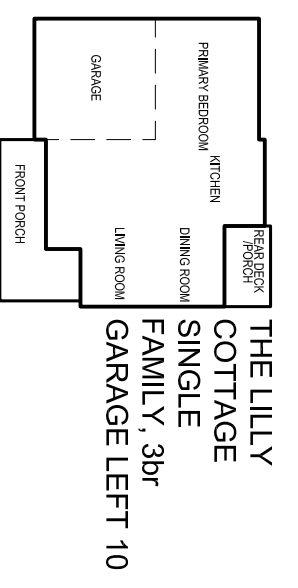


LOCUS MAP

NOT TO SCALE

MODEL LEGEND



BUILDING LEGEND:

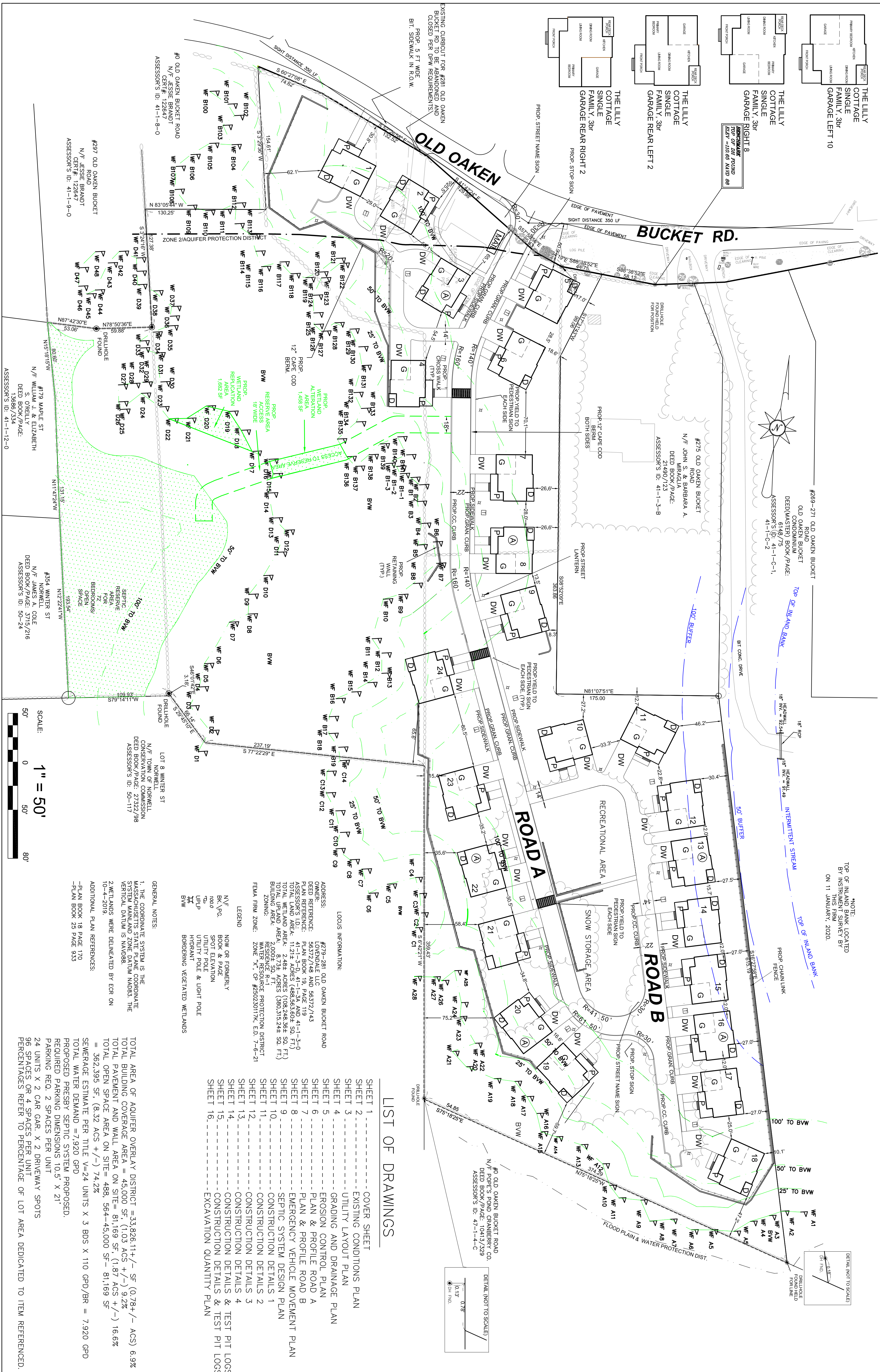
| | |
|------------------------|---------------------------|
| 1 UNIT NUMBER | 40,000 S.F. |
| 2 AFFORDABLE UNIT | 175 L.F. (Min.) |
| 3 P-REAR PORCH | 100 L.F. (Min.) |
| 4 DECK/REAR DECK | 30 FT. (Min.) |
| 5 GARAGE | 15 FT. (Min.) |
| 6 DRIVEWAY | 35 FT. (Max.) |
| 7 20' x 2 BEDROOM UNIT | 2 EA. PER DWELLING (Min.) |
| 8 30' x 3 BEDROOM UNIT | |

ZONING REQUIREMENTS

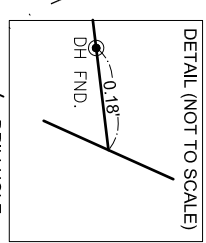
| | |
|-------------------|---------------------------|
| UPLAND LOT AREA | 40,000 S.F. |
| LOT WIDTH | 175 L.F. (Min.) |
| LOT FRONTAGE | 100 L.F. (Min.) |
| FRONT SET-BACK | 30 FT. (Min.) |
| SIDE & REAR-YARDS | 15 FT. (Min.) |
| HEIGHT | 35 FT. (Max.) |
| PARKING SPACES | 2 EA. PER DWELLING (Min.) |

MINIMUM DIMENSIONAL REQUIREMENTS

| | |
|-------------------------------------------------------------------------------------------------------------------------------|-------------|
| FOUNDATION TO FOUNDATION | 12 FT. MIN. |
| FOUNDATION TO DRAINAGE AREA | 10 FT. MIN. |
| FOUNDATION TO SEPTIC TANK | 10 FT. MIN. |
| SEPTIC TANK TO DRAINAGE AREA | 10 FT. MIN. |
| DRAINAGE AREA TO WETLANDS | 50 FT. MIN. |
| GARAGE AREA TO SIDEWALK | 21 FT. MIN. |
| DRAINAGE AREA TO PROPERTY LINE | 10 FT. MIN. |
| IT IS RECOMMENDED THAT ALL LAYOUT BE CONFIRMED VIA SURVEY METHODOLOGY TO MAKE SURE MINIMUM DISTANCES REQUIRED ARE MAINTAINED. | |



NOTE: ELEVATION LOCATED BY INSTRUMENT SURVEY BY THIS FIRM, 2020, ON 11 JANUARY, 2020.



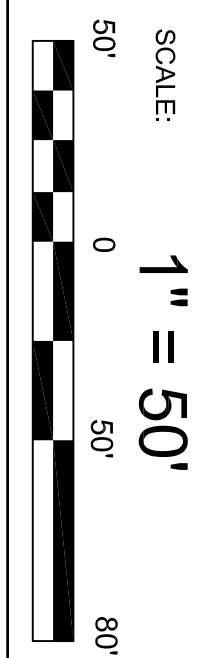
LIST OF DRAWINGS

| | |
|----------|--------------------------------------|
| SHEET 1 | COVER SHEET |
| SHEET 2 | EXISTING CONDITIONS PLAN |
| SHEET 3 | UTILITY LAYOUT PLAN |
| SHEET 4 | GRADING AND DRAINAGE PLAN |
| SHEET 5 | EROSION CONTROL PLAN |
| SHEET 6 | PLAN & PROFILE ROAD A |
| SHEET 7 | PLAN & PROFILE ROAD B |
| SHEET 8 | EMERGENCY VEHICLE MOVEMENT PLAN |
| SHEET 9 | SEPTIC SYSTEM DESIGN PLAN |
| SHEET 10 | CONSTRUCTION DETAILS 1 |
| SHEET 11 | CONSTRUCTION DETAILS 2 |
| SHEET 12 | CONSTRUCTION DETAILS 3 |
| SHEET 13 | CONSTRUCTION DETAILS 4 |
| SHEET 14 | CONSTRUCTION DETAILS & TEST PIT LOGS |
| SHEET 15 | CONSTRUCTION DETAILS & TEST PIT LOGS |
| SHEET 16 | EXCAVATION QUANTITY PLAN |

LOCUS INFORMATION:
 ADDRESS: #279-281 OLD OAKEN BUCKET ROAD
 OWNER: LOYNDALE LLC
 DEED REFERENCE: 56372/148 AND 56372/143
 PLAN BOOK: 19, PAGE 119 41-1-3-D
 TOTAL LAND AREA: 11.21 ACRES (486,563.60 SQ. FT.)
 TOTAL UPLAND AREA: 2.48 ACRES (108,248.36 SQ. FT.)
 TOTAL WETLAND AREA: 8.73 ACRES (380,315.24 SQ. FT.)
 ZONING: R-1
 RESERVATION: 10-1-2018
 WETLANDS PROTECTION DISTRICT: WINTER RESERVE PROTECTION DISTRICT
 FIELD FILE NO.: 20K X, SP# 250250170, 2.D, 7-9-21

LEGEND:
 N/E NOW OR FORMERLY
 B/P BOTTLE POINT
 S/E SPOT ELEVATION
 U/P UTILITY POLE
 H/B HOBORNT
 B/W BORDERING VEGETATED WETLANDS

GENERAL NOTES:
 1. THE COORDINATE SYSTEM IS THE MASSACHUSETTS STATE PLANE COORDINATE SYSTEM MAINLAND STATE DATUM NAD83. THE VERTICAL DATUM IS NAVD83.
 2. WETLANDS WERE DELINEATED BY EGR ON 10-4-2018.
 3. SEWERAGE ESTIMATE PER TITLE V=24 UNITS X 3 BDS X 110 GPD/BR = 7,920 GPD
 4. TOTAL WATER DEMAND = 7,920 GPD
 5. PROPOSED PRESBY SEPTIC SYSTEM PROPOSED.
 6. REQUIRED PARKING DIMENSIONS 10.5' X 21'
 7. PARKING REC. 2 SPACES PER UNIT
 8. 24 UNITS X 2 CAR GAR. X 2 DRIVEWAY SPOTS
 9. 66 SPACES OR 4 SPACES PER UNIT
 10. PERCENTAGES REFER TO PERCENTAGE OF LOT AREA DEDICATED TO ITEM REFERENCED.



REVISIONS:

| NO. | DESCRIPTION | DATE |
|-----|---------------------|--------|
| 1. | REV. FOR 3/8/23 MTG | 3/2/23 |



3/2/2023
 THE COTTAGES AT OLD OAKEN BUCKET AT #279-281 OLD OAKEN BUCKET ROAD SCITUATE, MA

COVER SHEET

PARCEL 41-1-3-D
 PARCEL 41-1-3-0

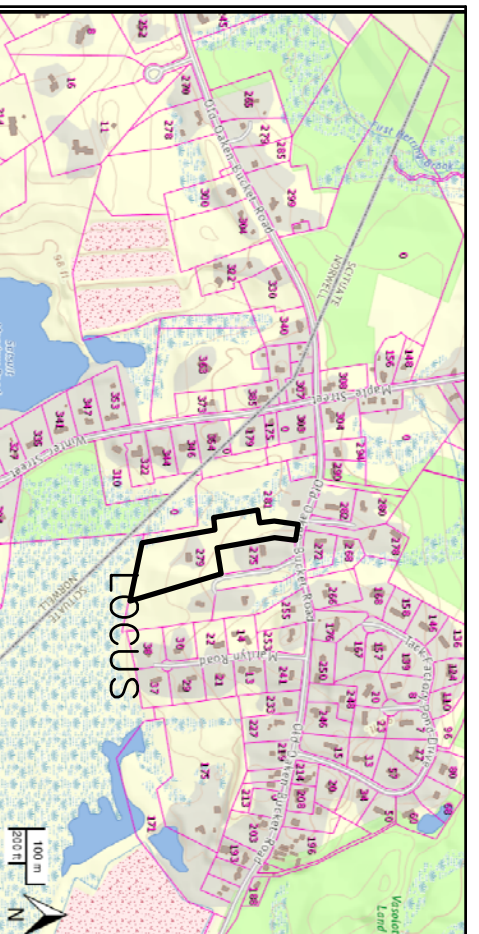
PREPARED BY:
 REGISTERED LAND SURVEYORS & CIVIL ENGINEERS
 167 R SUMMER STREET
 KINGSTON, MA 02364
 781-582-2185
 mark@ssocinc.net

PREPARED FOR:
 LOYNDALE, LLC
 S/O SALT MEADOW DEVELOPMENT
 107 EAST STREET
 DUXBURY, MA 02532

SCALE: 1" = 50'
 DATE: FEBRUARY 16, 2023
 COMP/DESIGN: A. ESPOSITO
 CHECK: M. D. CASEY
 DRAWING: A. ESPOSITO
 FIELD: LILIPS
 APPROVED: M. D. CASEY
 DWG. NO. 1909 CP

JOB NO. 1908

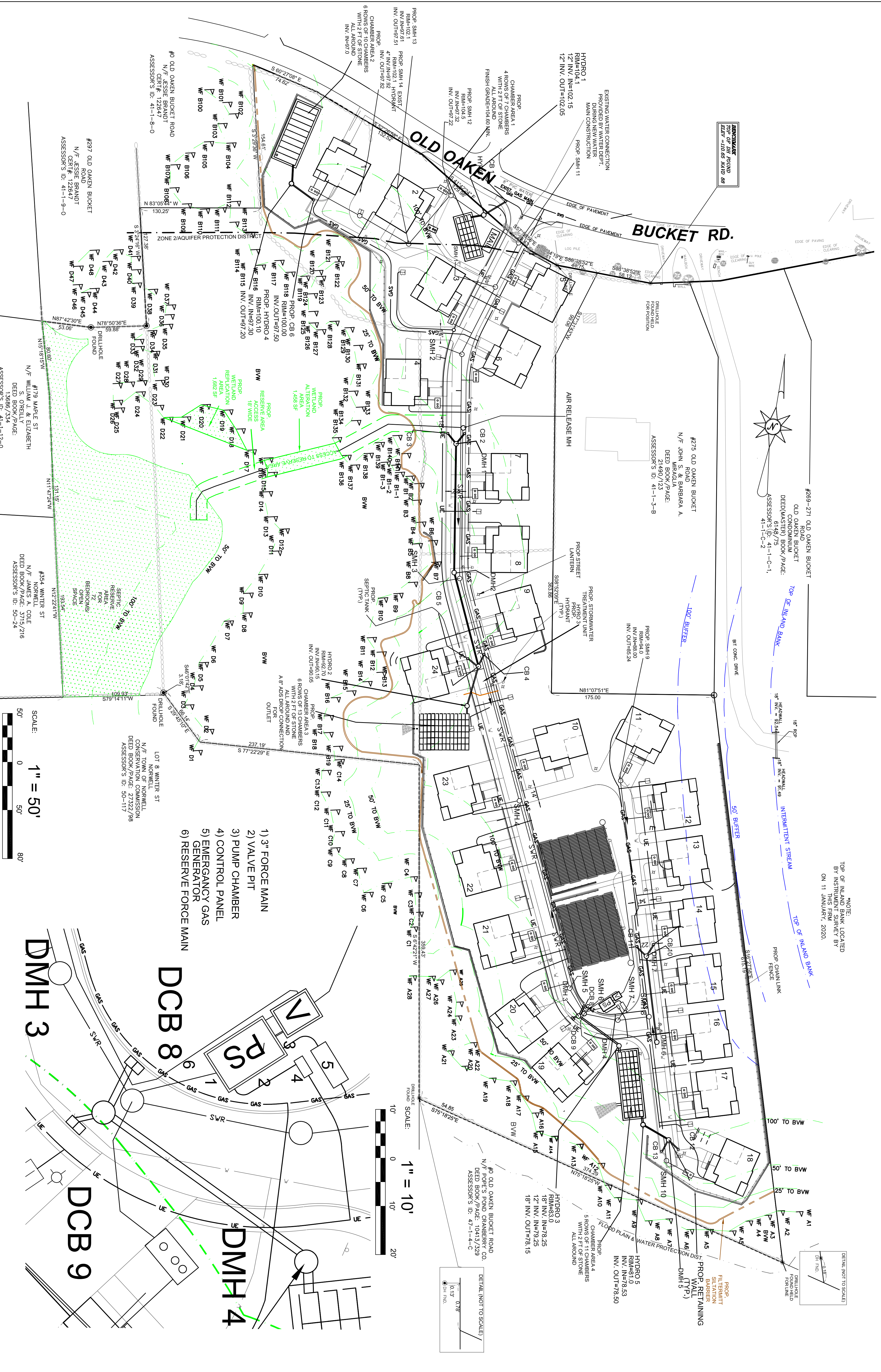
| | |
|-------|----|
| SHEET | 1 |
| OF | 16 |



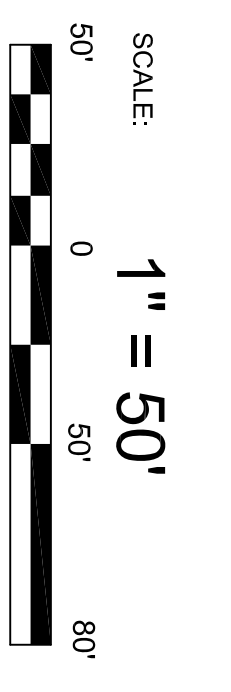
LOCUS MAP
NOT TO SCALE

WATER MAIN INSTALLATION CONSTRUCTION NOTES

PROJ. TO CONSTRUCTION OF THE WATER MAIN. THE PROPOSED HYDRANT LOCATIONS SHALL BE CONFIRMED BY THE ENGINEER AND THE LOCAL FIRE DEPARTMENT. ANY CHANGES OF LOCATION OF HYDRANTS DUE TO UNFORSEEN SITE RESTRICTIONS SHALL BE REVIEWED BY THE ENGINEER AND LOCAL FIRE DEPARTMENT.



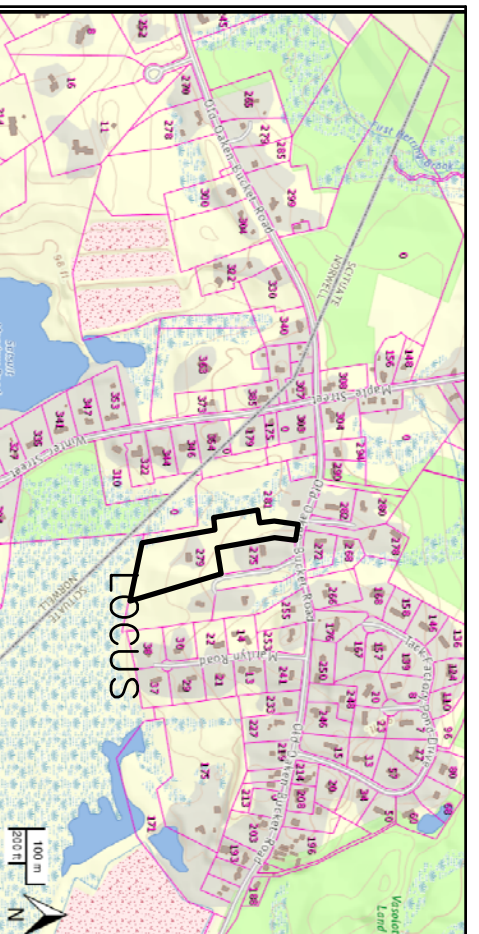
- 1) 3" FORCE MAIN
- 2) VALVE PIT
- 3) PUMP CHAMBER
- 4) CONTROL PANEL
- 5) EMERGENCY GAS GENERATOR
- 6) RESERVE FORCE MAIN



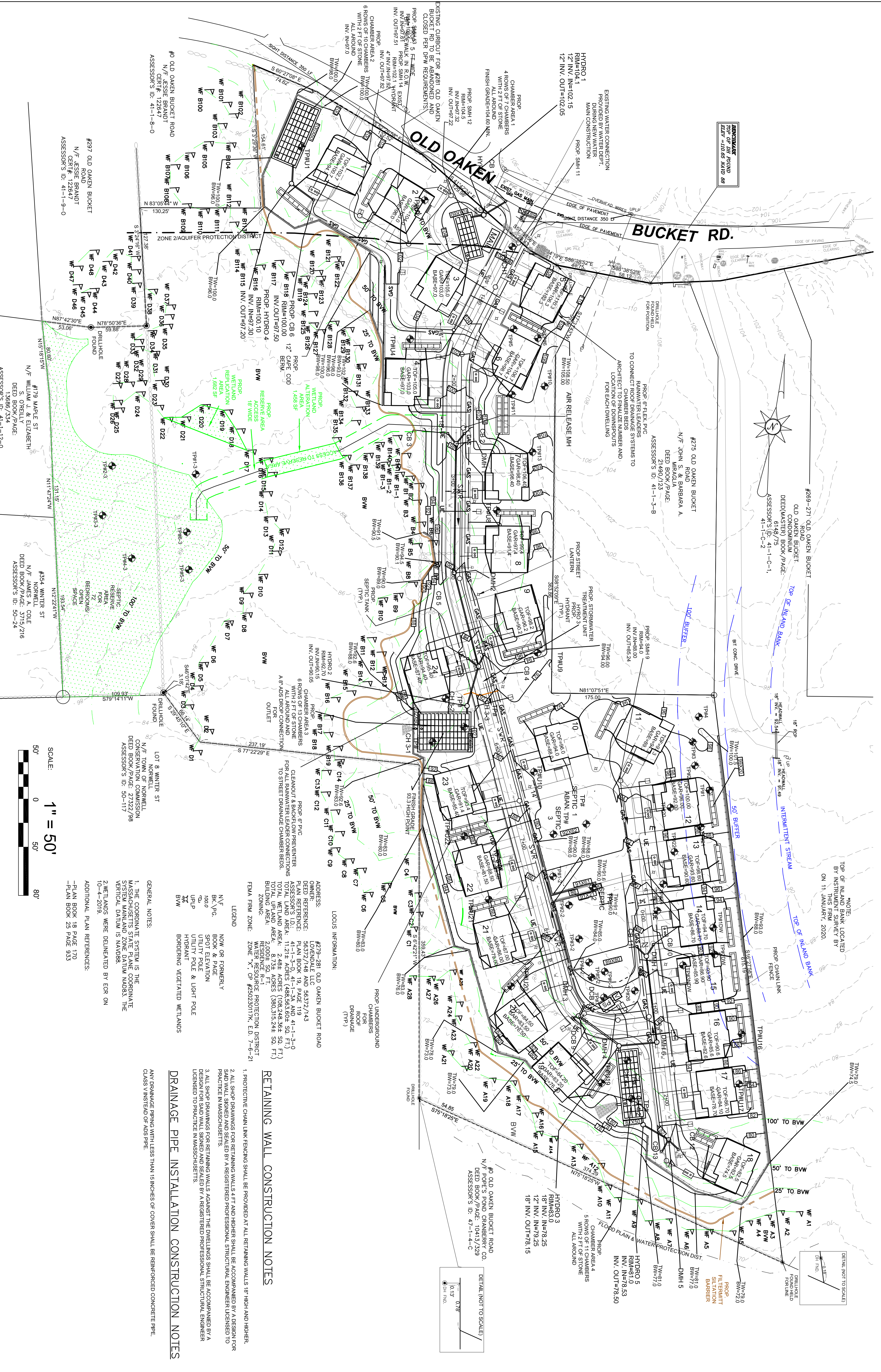
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|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------|------------------------------------|
| REVISIONS: | DESCRIPTION | DATE |
| 1. | REV. FOR 3/8/23 MTG | 3/2/23 |
| PROJECT TITLE: | | |
| <p>THE COTTAGES AT OLD OAKEN BUCKET AT #279-281 OLD OAKEN BUCKET ROAD SCITUATE, MA</p> | | |
| <p>UTILITY LAYOUT PLAN</p> | | |
| <p>PREPARED BY: PARCEL 41-1-3-D PARCEL 41-1-3-0</p> | | |
| <p>REGISTERED LAND SURVEYORS & CIVIL ENGINEERS 167 R SUMMER STREET KINGSTON, MA 02364 781-582-2185 mark@ssscinc.net</p> | | |
| <p>PREPARED FOR: LOVEDALE, LLC S/O SALT MEADOW DEVELOPMENT DUXBURY, MA 02532</p> | | |
| <p>DATE: FEBRUARY 16, 2023 COMP/DESIGN: A. ESPOSITO CHECK: M. D. CASEY DRAWING: A. ESPOSITO FIELD: LILIPS APPROVED: M. D. CASEY DWG. NO. 1908 SP</p> | | |
| <p>SCALE: 1" = 50'</p> | | <p>SHEET 3 OF 16</p> |



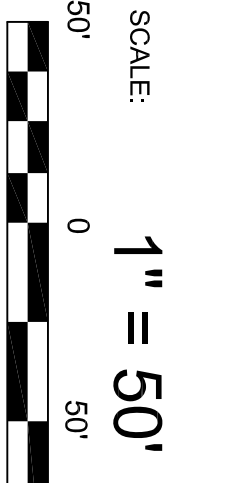
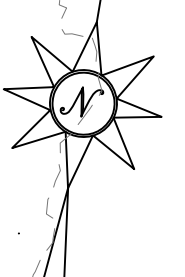
3/2/2023



LOCUS MAP NOT TO SCALE



- UTILITY LEGEND:
- SEWER LINE ———— SW ————
 - DRAINAGE LINE ————
 - UNDERGROUND ELECTRICABLE ———— UE ————
 - WATER LINE ———— W ————
 - GAS LINE ———— G ————
 - MANHOLE ○
 - CATCH BASIN □
 - HYDRANT ◊
 - WATER VALVE ◊
 - TRANSFORMER □
 - RETAINING WALL []



ADDRESS: #279-281 OLD OAKEN BUCKET ROAD
 OWNER: LOWENDALE LLC
 DEED REFERENCE: 56372/148 AND 56372/143
 PLAN BOOK: 19, PAGE 119
 REGISTERED: 4-1-13-0
 TOTAL LAND AREA: 11.21 ± ACRES (486,563.60 ± SQ. FT.)
 TOTAL PLANT AREA: 2.48 ± ACRES (108,248.36 ± SQ. FT.)
 REGISTERED: 4-1-13-0
 RESERVATION: 1-1
 ZONING: W-1
 FLOOD HAZARD ZONE: FEMA FIRM ZONE: 200, X, 01-250201(1), D, 7-9-21

LOCUS INFORMATION:
 LOCUS: 41-1-3-D
 PARCEL: 41-1-3-D
 PARCEL: 41-1-3-D

GENERAL NOTES:
 1. THE COORDINATE SYSTEM IS THE MASSACHUSETTS STATE PLANE COORDINATE SYSTEM MANLAND ZONE DATUM NAD83. THE VERTICAL DATUM IS NAVD83.
 2. WETLANDS WERE DELINEATED BY EGR ON 10-4-2019.
 ADDITIONAL PLAN REFERENCES:
 -PLAN BOOK 18, PAGE 170
 -PLAN BOOK 25, PAGE 923

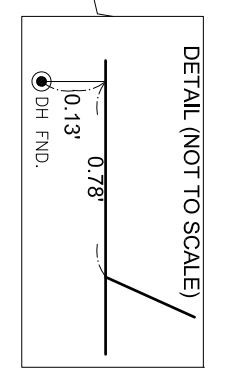
LEGEND:
 N/F NOW OR FORMERLY
 N/F PG. SPOT ELEVATION
 R/W RIGHT OF WAY
 U/P UTILITY POLE
 U/P UTILITY POLE & LIGHT POLE
 H/B HOBBIER
 B/W BORDERING VEGETATED WETLANDS

RETAINING WALL CONSTRUCTION NOTES

- PROTECTIVE CHAIN LINK FENCING SHALL BE PROVIDED AT ALL RETAINING WALLS 18" HIGH AND HIGHER.
- ALL SHOR DRAWINGS FOR RETAINING WALLS 4 FT AND HIGHER SHALL BE ACCOMPANIED BY A DESIGN FOR SAND WALL SIGNING AND SEALED BY A REGISTERED PROFESSIONAL STRUCTURAL ENGINEER LICENSED TO PRACTICE IN MASSACHUSETTS.
- ALL SHOR DRAWINGS FOR RETAINING WALLS AGAINST THE DWELLINGS SHALL BE ACCOMPANIED BY A DESIGN FOR SAND WALL SIGNING AND SEALED BY A REGISTERED PROFESSIONAL STRUCTURAL ENGINEER LICENSED TO PRACTICE IN MASSACHUSETTS.

DRAINAGE PIPE INSTALLATION CONSTRUCTION NOTES

ANY DRAINAGE PIPING WITH LESS THAN 18 INCHES OF COVER SHALL BE REINFORCED CONCRETE PIPE. CLASS 3 WAS USED OR AS THE.



| | | | |
|------------|-----|---------------------|--------|
| REVISIONS: | NO. | DESCRIPTION | DATE |
| | 1. | REV. FOR 3/8/23 MTG | 3/2/23 |

PROJECT TITLE: **THE COTTAGES AT OLD OAKEN BUCKET AT #279-281 OLD OAKEN BUCKET ROAD SCITUATE, MA**

PREPARED FOR: **PARCEL 41-1-3-D PARCEL 41-1-3-D**

PREPARED BY: **GRADING & DRAINAGE PLAN**

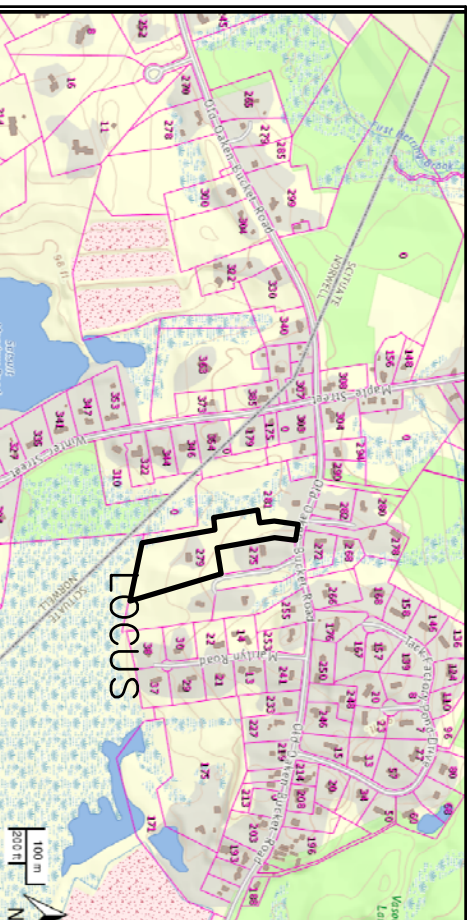
South Shore Consultants, Inc.
 REGISTERED LAND SURVEYORS & CIVIL ENGINEERS
 167 R SUMMER STREET
 KINGSTON, MA 02364
 781-562-2185
 mark@sscinc.net

APPROVED: **M. D. CASEY**

DATE: FEBRUARY 16, 2023
 COMP/DESIGN: A. ESPOSITO
 CHECK: M. D. CASEY
 DRAWING: A. ESPOSITO
 FIELD: LILIPS
 APPROVED: M. D. CASEY
 DWG. NO. 1908 SP
 JOB NO. 1908

SCALE: **1" = 50'**

SHEET **4** OF **16**



LOCUS MAP

NOT TO SCALE

- PHASE OF CONSTRUCTION:**
1. CONSTRUCT GRANTY SEWER MAIN
 2. COMMENCE FLOOR GRADING OF MAIN DRIVES
 3. CONSTRUCT DRAINAGE INFRASTRUCTURE
 4. CONSTRUCT WATER MAIN
 5. SET MAIN SEWER AND WATER SERVICE STUBS
 6. COMMENCE WORK ON SEPTIC SYSTEM AND PUMP STATION.
 7. COMMENCE INSTALLATION OF UTILITIES INCLUDING GAS, ELECTRIC, CABLE AND INTERNET CONDUIT AND PEDIESTALS
 8. FINAL GRADING OF PAVES AND BASE COAT OF PAVEMENT TO BE PROVIDED. FINAL HOOK UP OF PUMP STATION AND SEPTIC SYSTEM.
 9. COMMENCE DEMILING CONSTRUCTION WHICH INCLUDES INSTALLATION OF SEPTIC TANKS, UTILITY, WATER AND SEWER CONNECTIONS AND ROOF DRAINAGE SYSTEMS.
 10. FINAL PAVING AND LANDSCAPING

EROSION CONTROL NOTES

THE SITE CONTRACTOR AND THE OWNER SHALL BE RESPONSIBLE FOR THE OPERATIONS AND MAINTENANCE SCHEDULE (OMM) DURING THE CONSTRUCTION PERIOD. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE EXISTING ADJACENT PROPERTIES AND TO ENSURE THE PROPER CONSTRUCTION AND FUNCTION OF THE DRAINAGE SYSTEM. A CONSTRUCTION PERIOD STORMWATER POLLUTION PREVENTION PLAN PER US EPM REQUIRES REQUIREMENTS SHALL BE PREPARED PRIOR TO COMMENCE OF CONSTRUCTION.

1. PRIOR TO CONSTRUCTION EROSION CONTROL DEVICES SHALL BE INSTALLED PER THE APPROVED PLANS. EROSION CONTROL BARRIERS SHALL BE INSPECTED PRIOR TO LARGE STORM EVENTS TO ENSURE THAT THE EROSION CONTROL WILL FUNCTION AS REQUIRED AND FOLLOWING A STORM TO INSPECT FOR DAMAGE TO THE EROSION CONTROL ELEMENTS. ANY DAMAGE OR IMPROPER INSTALLATION THAT IS NOTICED PRIOR TO A STORM SHALL BE IMMEDIATELY REPAIRED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL EROSION CONTROL DEVICES THROUGHOUT THE CONSTRUCTION PERIOD.

2. A CONSULTATION WITH THE CITY ENGINEER, ALL DRAINAGE STRUCTURES INCLUDING CATCH BASINS, STORM TANKS, AND UNIT TANKS CHAMBER BODS SHALL BE CONSTRUCTED AND STABILIZED AS SOON AS POSSIBLE. CATCH BASINS SHALL BE PROTECTED WITH SILT SOCKS AS SHOWN ON THE DETAIL.

3. THE CATCH BASINS AND STORM TANKS SHALL BE INSPECTED WEEKLY DURING CONSTRUCTION. ANY SEDIMENT BUILD UP OF EIGHT (8) INCHES OR MORE IN ANY OF THE STRUCTURES SHALL BE PROMPTLY REMOVED BY HAND OR MECHANICAL METHODS AND ALL DEBRIS REMOVED SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS. PROTECT CATCH BASINS FROM RECEIVING SEDIMENT LOADS FROM RUNOFF THAT MAY CLOG UNDERGROUND INFILTRATION SYSTEMS BY GRADING A GRAVEL SURROUND IMMEDIATELY FROM THESE INLETS PRIOR TO FINISHING EROSION CONTROL BARRIERS.

4. THE SITE SHALL BE INSPECTED WEEKLY OR AFTER ALL RAINFALL EVENTS GREATER THAN 1/4" INCH OF RAINFALL DEPTH, WHICHEVER OCCURS SOONER. ANY EROSION SHALL BE FILED AND REMEDIATED IN A MANNER TO PREVENT FURTHER EROSION.

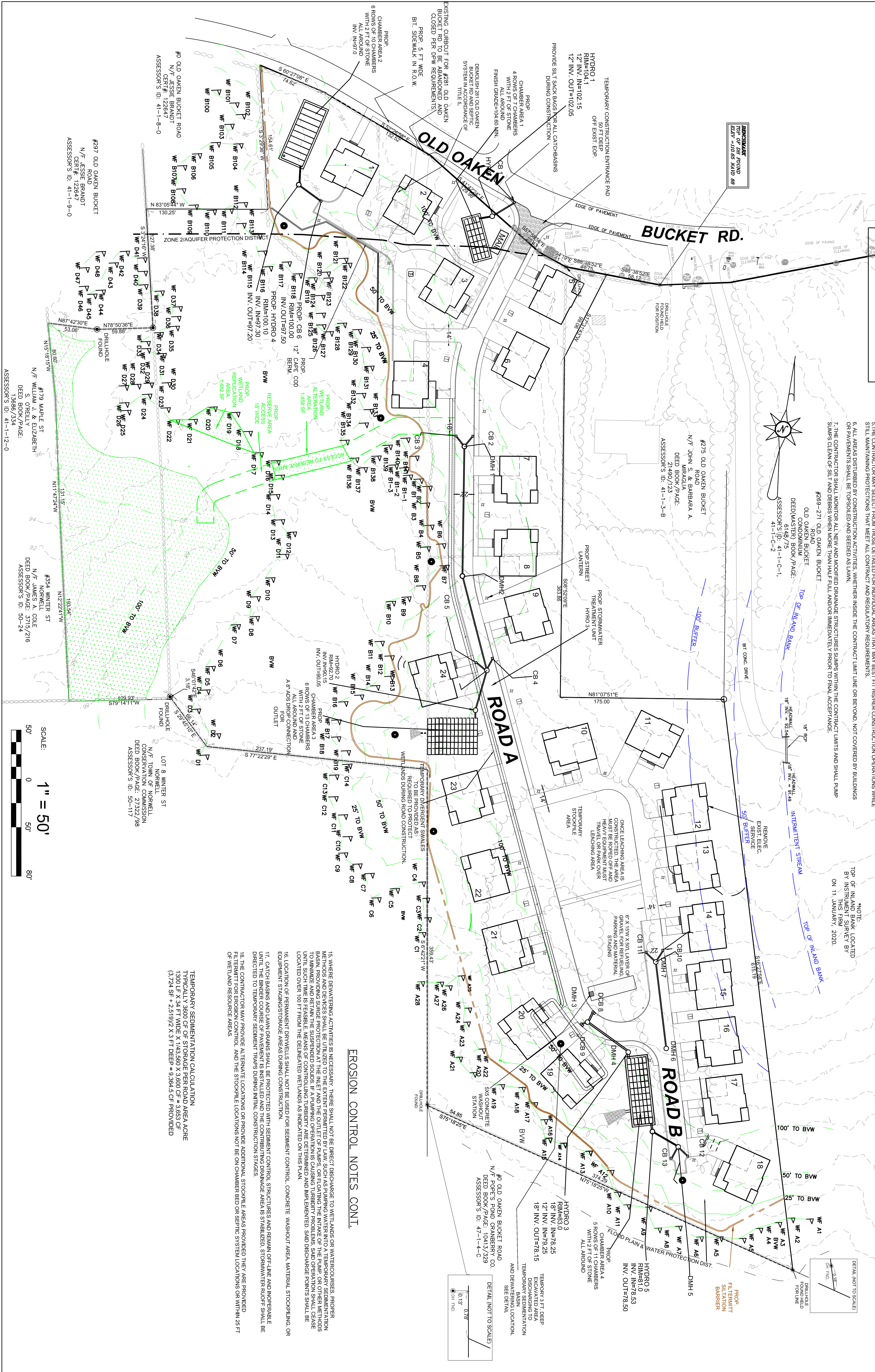
5. THE CONTRACTOR MAY SELECT FROM THOSE DETAILED FOR INDIVIDUAL AREAS THAT MAY BEST FIT HIGHER CONSTRUCTION OPERATIONS WHILE STILL MAINTAINING PROTECTIONS THAT MEET ALL CONTRACT AND REGULATORY REQUIREMENTS.

6. ALL AREAS DISTURBED BY CONSTRUCTION ACTIVITIES, WHETHER INSIDE THE CONTRACT LIMIT LINE OR BEYOND, NOT COVERED BY BUILDINGS OR PAVEMENTS SHALL BE TOP SOILED AND SEEDED AS LAMM.

7. THE CONTRACTOR SHALL MONITOR ALL NEW AND MODIFIED DRAINAGE STRUCTURES SIPS WITH THE CONTRACT LIMITS AND SHALL PUMP SIPS CLEAN OF SILT AND DEBRIS WHEN MORE THAN HALF FULL AND/OR IMMEDIATELY PRIOR TO FINAL ACCEPTANCE.

8. AREAS THAT ARE NOT THE LOCATION OF ACTIVE CONSTRUCTION WHICH ARE LEFT BARE FOR OVER A MONTH BEFORE FINISHED GRADING AND SEEDING IS COMPLETED SHALL BE MULCHED OR RECEIVE TEMPORARY STABILIZATION SUCH AS LIME TREATING OR RECEIVE A TEMPORARY SEEDING. SEEDING SHALL BE APPLIED TO ALL BARE AREAS IMMEDIATELY AFTER GRADING. SEEDING SHALL BE APPLIED AT A RATE OF 50 LBS/1,000 SF PLANTING SEASONS SHALL BE APRIL 1 TO JUNE 1 AND AUGUST 1 TO OCTOBER 1. AREAS TO BE LEFT BARE BEFORE FINISH GRADING AND SEEDING OUTSIDE OF PLANTING SEASONS SHALL RECEIVE AN AIR-BORNE WOOD CHIP MULCH, FREE OF COARSE MATTER.
9. STABILIZATION OF SLOPES IN CUT AREAS (USING MULCH OR GRASS) AND THE INSTALLATION OF THE CONTROL LINE (FILTERMATT OR SILT FENCE) AT THE TOP OF SLOPE SHALL BE INSTALLED WITHIN FOURTEEN (14) DAYS OF COMPLETION.
10. SEDIMENT REMOVED FROM CONTROL STRUCTURES WILL BE DISPOSED IN A MANNER WHICH IS CONSISTENT WITH THE INTENT OF THE PLAN. ALL CONTROLS SHALL BE REMOVED OR REPLACED.
11. THE CONTRACTOR WILL BE ASSIGNED THE RESPONSIBILITY FOR IMPLEMENTING THIS EROSION AND SEDIMENT CONTROL PLAN. THIS RESPONSIBILITY INCLUDES THE INSTALLATION AND MAINTENANCE OF CONTROL MEASURES, INFORMING ALL PARTIES ENGAGED ON THE SITE OF THE LOCATION AND OBJECTIVES OF THE PLAN.
12. STOCKPILES OF SOIL SHALL BE SURROUNDED BY AN EROSION CONTROL BARRIER. SOIL STOCKPILES ARE TO BE LEFT BARE FOR MORE THAN FOURTEEN (14) DAYS SHALL BE STABILIZED WITH TEMPORARY VEGETATION OR MULCH. IF SOIL STOCKPILES ARE TO REMAIN FOR MORE THAN SIXTY (60) DAYS THE EROSION CONTROL BARRIER SHALL BE USED. SOIL STOCKPILES SHALL NOT EXCEED 20'.
13. THE CONTRACTOR SHALL BE RESPONSIBLE TO CONTROL DUST AND WIND EROSION THROUGHOUT THE LIFE OF THE CONTRACT. DUST CONTROL PREVENT A HAZARD TO TRAFFIC.

NOTE: ALL EROSION CONTROL MEASURES LOCATED BY THIS PLAN, 2020, ON 11 JANUARY, 2020.



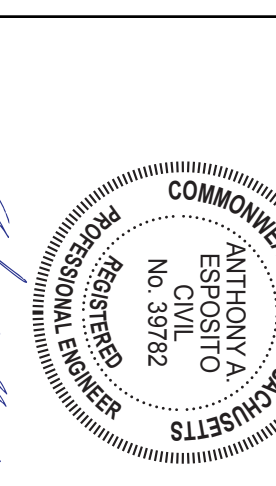
EROSION CONTROL NOTES CONT.

14. WHERE DEWATERING ACTIVITIES IS NECESSARY, THERE SHALL NOT BE DIRECT DISCHARGE TO WETLANDS OR WATERCOURSES. PROPER METHODS AND DRAINAGE SHALL BE UTILIZED TO THE EXTENT OF THE CUTTING OF PAVES OR FLOORING THE INTERIOR OF THE FRAME OR OTHER METHODS TO MINIMIZE AND RETAIN THE SUSPENDED SOLIDS. IF A PUMPING OPERATION IS CAUSING TURBIDITY PROBLEMS, SAID OPERATION SHALL CEASE UNTIL SUCH TIME AS FEASIBLE MEANS OF CONTROLLING TURBIDITY ARE DETERMINED AND IMPLEMENTED. SAID DISCHARGE POINTS SHALL BE LOCATED OVER 100 FT FROM THE DEWATERED WETLANDS AS INDICATED ON THIS PLAN.
15. LOCATION OF PERMANENT DRAINAGE SHALL NOT BE USED FOR SEDIMENT CONTROL. CONCRETE WASHOUT AREA MATERIAL STOCKPILING OR EQUIPMENT STORAGE AREAS DURING CONSTRUCTION.
16. THE COURSE OF PAVEMENT IS INSTALLED AND THE CONTRIBUTING DRAINAGE AREAS IS STABILIZED, STORMWATER RUNOFF SHALL BE DIRECTED TO TEMPORARY SEDIMENT TRAPS DURING INITIAL CONSTRUCTION STAGES.
17. THE CONTRACTOR MAY PROVIDE ALTERNATE LOCATIONS OR PROVIDE ADDITIONAL STOCKPILE AREAS PROVIDED THEY ARE PROVIDED PERMIT FOR EROSION CONTROL. AND THE STOCKPILE LOCATIONS NOT BE ON CHAMBER BED OR SEPTIC SYSTEM LOCATIONS OR WITHIN 25 FT OF WETLAND RESOURCE AREAS.

TEMPORARY SEDIMENTATION CALCULATION
 STOCKPILE AREA: 1300 SF X 3.4' HIGHEST WIND X 0.2965 CF X 0.0001385 CF
 (3,724 SF X 2.519) / (2 X 3 FT DEEP) = 9,984.5 CF PROVIDED

| REVISIONS: | No. | DESCRIPTION | DATE |
|------------|-----|---------------------|--------|
| | 1. | REV. FOR 3/8/23 MTG | 3/2/23 |

PROJECT TITLE:



3/2/2023
THE COTTAGES AT OLD OAKEN BUCKET AT #279-281 OLD OAKEN BUCKET ROAD SCITUATE, MA

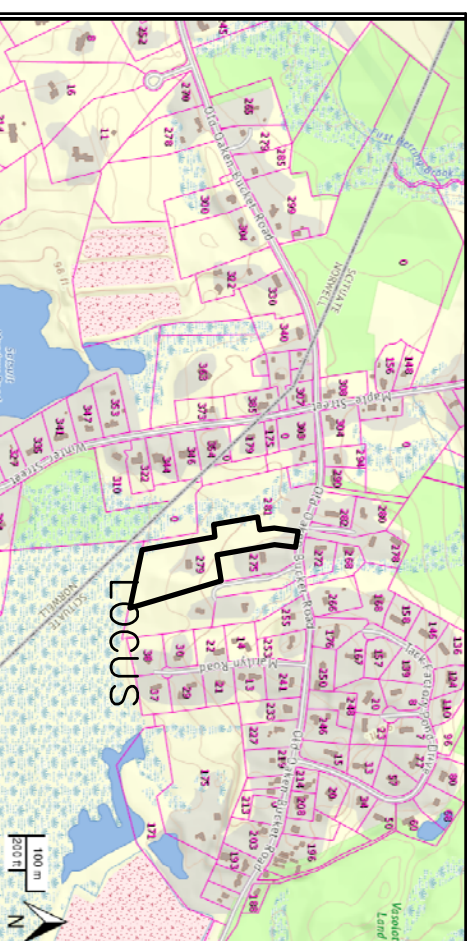
EROSION CONTROL PLAN

PREPARED BY:
 PARCEL 41-1-3-D
 PARCEL 41-1-3-0

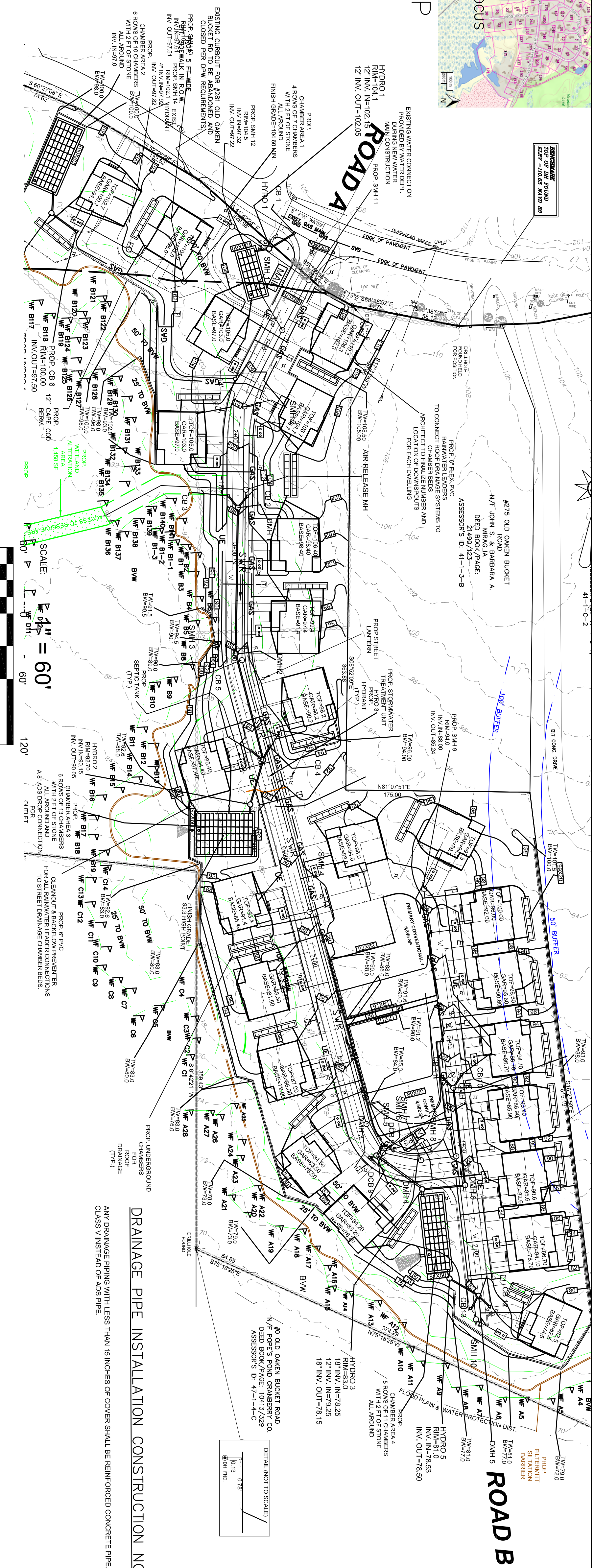
South Shore Surveyors, Inc.
 REGISTERED LAND SURVEYORS & CIVIL ENGINEERS
 167 R SUMMER STREET
 KINGSTON, MA 02364
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DATE: FEBRUARY 16, 2023
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 JOB NO. 1908

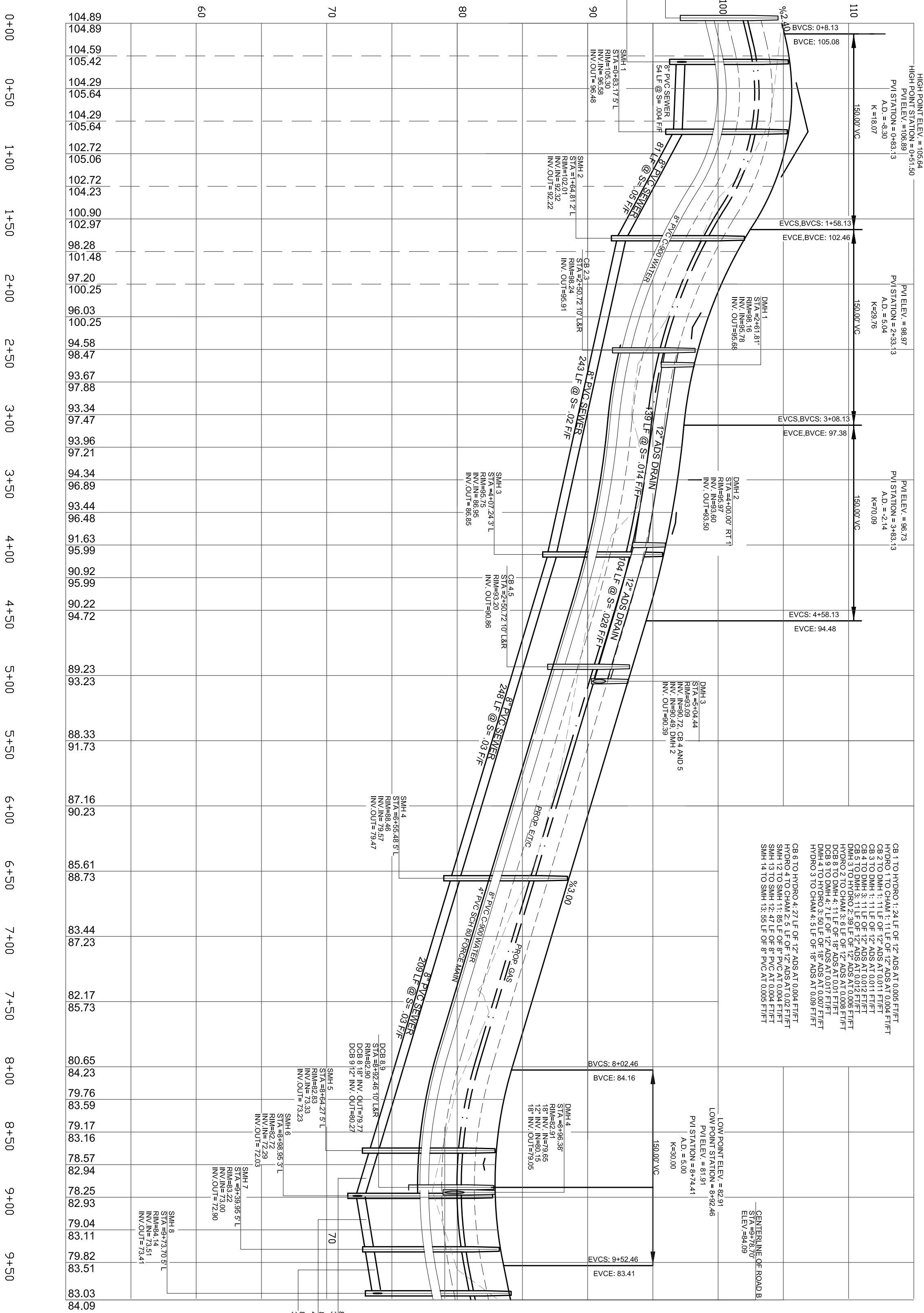


LOCUS MAP
NOT TO SCALE

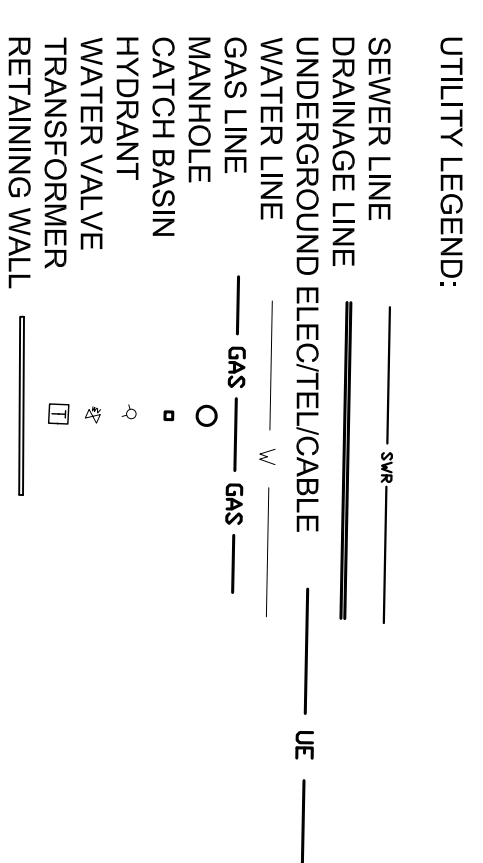


DRAINAGE PIPE INSTALLATION CONSTRUCTION NOTES
 ANY DRAINAGE PIPING WITH LESS THAN 15 INCHES OF COVER SHALL BE REINFORCED CONCRETE PIPE.
 CLASS V INSTEAD OF ADS PIPE.

SCALE: $1" = 60'$
 120'



SCALE: $1" = 60'$
 HORIZONTAL
 120'



DR. DOUBLE CATCH BASIN
 CB. CATCH BASIN
 DMH-DRAIN MANHOLE
 HYDRO-PROPRIETARY TREATMENT UNIT

| REVISIONS: | NO. | DESCRIPTION | DATE |
|------------|-----|---------------------|--------|
| | 1. | REV. FOR 3/8/23 MTG | 3/2/23 |



3/2/2023

THE COTTAGES
 AT
 OLD OAKEN BUCKET
 AT
 #279-281 OLD OAKEN
 BUCKET ROAD
 SCITUATE, MA

**PLAN &
 PROFILE**
 ROAD A

PREPARED BY:
 PARCEL 41-1-3-D
 PARCEL 41-1-3-0

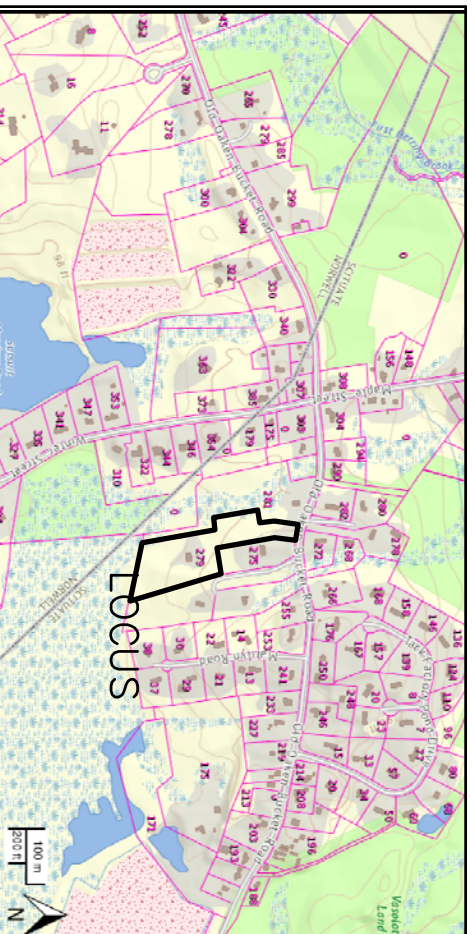
PREPARED FOR:
South Shore
Consultants, Inc.
 REGISTERED LAND SURVEYORS
 & CIVIL ENGINEERS
 167 R SUMMER STREET
 KINGSTON, MA 02364
 781-582-2185
 mark@ssscinc.net

PREPARED FOR:
LOVEDALE, LLC
S/O SALT MEADOW DEVELOPMENT
 107 EAST STREET
 DUXBURY, MA 02532

SCALE: $1" = 60'$



| |
|--------------------------|
| DATE: FEBRUARY 16, 2023 |
| COMP/DESIGN: A. ESPOSITO |
| CHECK: M. D. CASEY |
| DRAWN: A. ESPOSITO |
| FIELD: LILIPS |
| APPROVED: M. D. CASEY |
| DWG. NO. 1908 P&A |
| JOB NO. 1908 |
| SHEET 6 OF 16 |

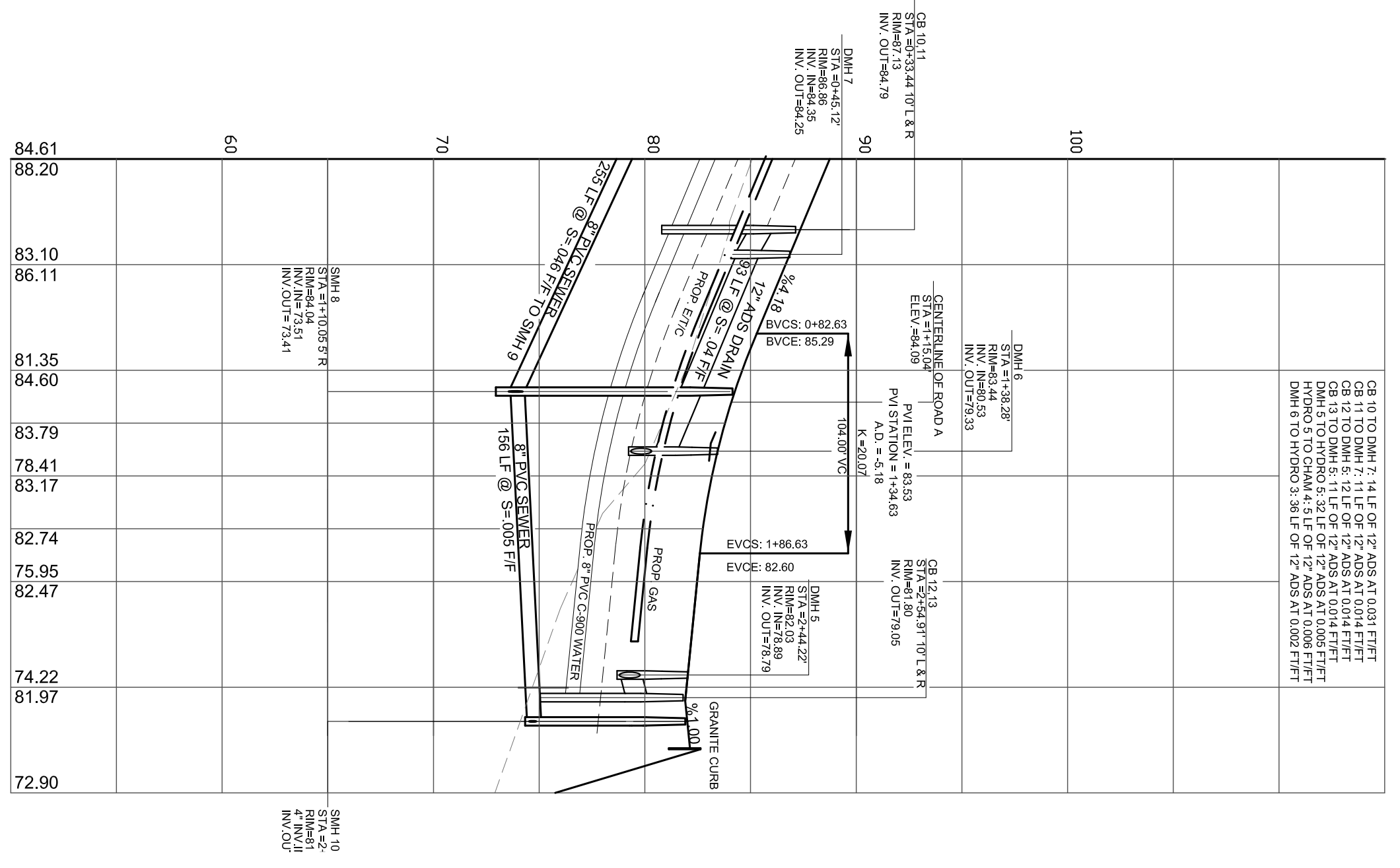
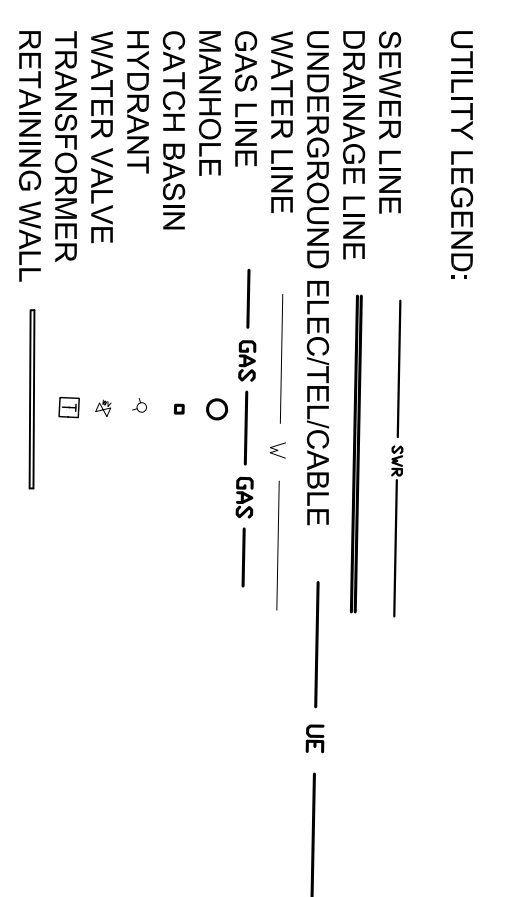


LOCUS MAP
NOT TO SCALE



DRAINAGE PIPE INSTALLATION CONSTRUCTION NOTES

ANY DRAINAGE PIPING WITH LESS THAN 18 INCHES OF COVER SHALL BE REINFORCED CONCRETE PIPE CLASS V INSTEAD OF ADS PIPE.



SCALE: 1" = 60'

SCALE: 1" = 8'



3/2/2023

THE COTTAGES
AT
OLD OAKEN BUCKET
AT
#279-281 OLD OAKEN
BUCKET ROAD
SCITUATE, MA

PLAN &
PROFILE
ROAD B

PARCEL 41-1-3-D
PARCEL 41-1-3-0

PREPARED BY:
South Shore
Surveyors, Inc.
CONSULTANTS, INC.
REGISTERED LAND SURVEYORS
& CIVIL ENGINEERS
167 R SUMMER STREET
KINGSTON, MA 02364
781-582-2185
mark@ssinc.net

PREPARED FOR:
LOVEDALE, LLC
S/O SALT MEADOW DEVELOPMENT
107 EAST STREET
DUXBURY, MA 02332

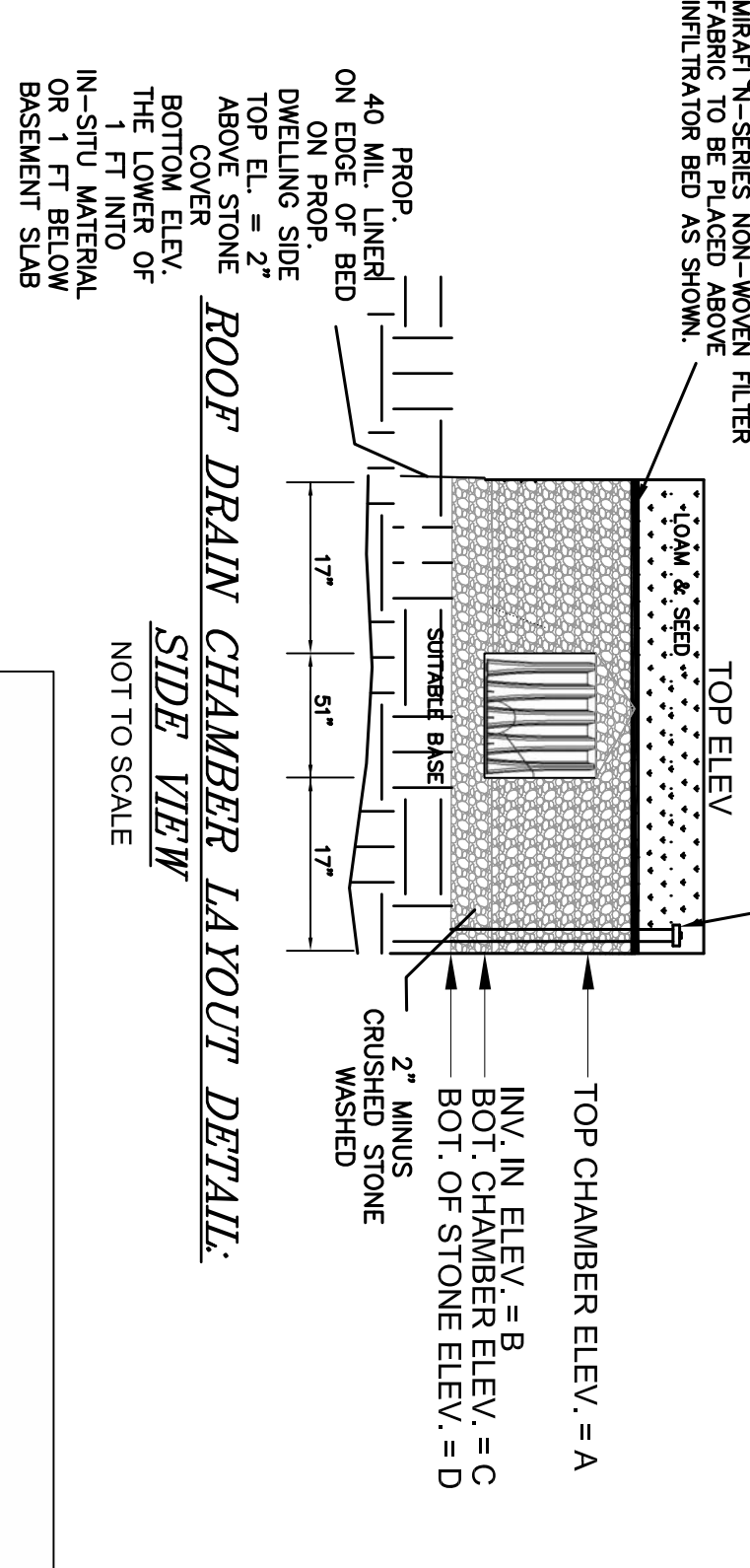
SCALE: 1" = 60'

DATE: FEBRUARY 16, 2023
COMP/DESIGN: A. ESPOSITO
CHECK: M. D. CASEY
DRAWN: A. ESPOSITO
FIELD: LILUPS
APPROVED: M. D. CASEY
DWG. NO. 1908 PRB
JOB NO. 1908

| DWELL | A | B | C | D | TOP MIN. GROUND WATER |
|-------|--------|--------|--------|--------|-----------------------|
| 1 | 100.00 | 96.00 | 96.00 | 95.50 | 101.00 |
| 2 | 102.50 | 98.50 | 98.50 | 98.00 | 100.35 |
| 4 | 99.60 | 95.60 | 95.60 | 95.10 | 93.00 |
| 5 | 107.20 | 103.20 | 103.20 | 103.20 | 108.70 |
| 6 | 103.60 | 99.60 | 99.60 | 99.10 | 104.60 |
| 7 | 103.60 | 99.60 | 99.60 | 99.10 | 104.60 |
| 8 | 98.60 | 94.60 | 94.60 | 94.10 | 99.60 |
| 9 | 95.10 | 91.10 | 91.10 | 90.60 | 96.10 |
| 10 | 91.90 | 87.90 | 87.90 | 87.40 | 92.90 |
| 11 | 94.10 | 90.10 | 90.10 | 89.60 | 95.10 |
| 12 | 96.30 | 92.30 | 92.30 | 91.80 | 97.30 |
| 13 | 94.10 | 90.10 | 90.10 | 89.60 | 95.10 |
| 14 | 91.50 | 87.50 | 87.50 | 87.00 | 92.50 |
| 15 | 90.50 | 86.50 | 86.50 | 86.00 | 91.50 |
| 16 | 86.10 | 82.10 | 82.10 | 81.60 | 87.10 |
| 17 | 83.30 | 79.30 | 79.30 | 78.80 | 84.30 |
| 18 | 79.40 | 75.40 | 75.40 | 74.90 | 80.40 |
| 19 | 80.80 | 76.80 | 76.80 | 76.30 | 81.90 |
| 20 | 81.60 | 77.60 | 77.60 | 77.10 | 82.60 |
| 21 | 84.60 | 80.60 | 80.60 | 80.10 | 85.60 |
| 22 | 86.10 | 82.10 | 82.10 | 81.60 | 87.10 |
| 23 | 86.10 | 82.10 | 82.10 | 81.60 | 87.10 |

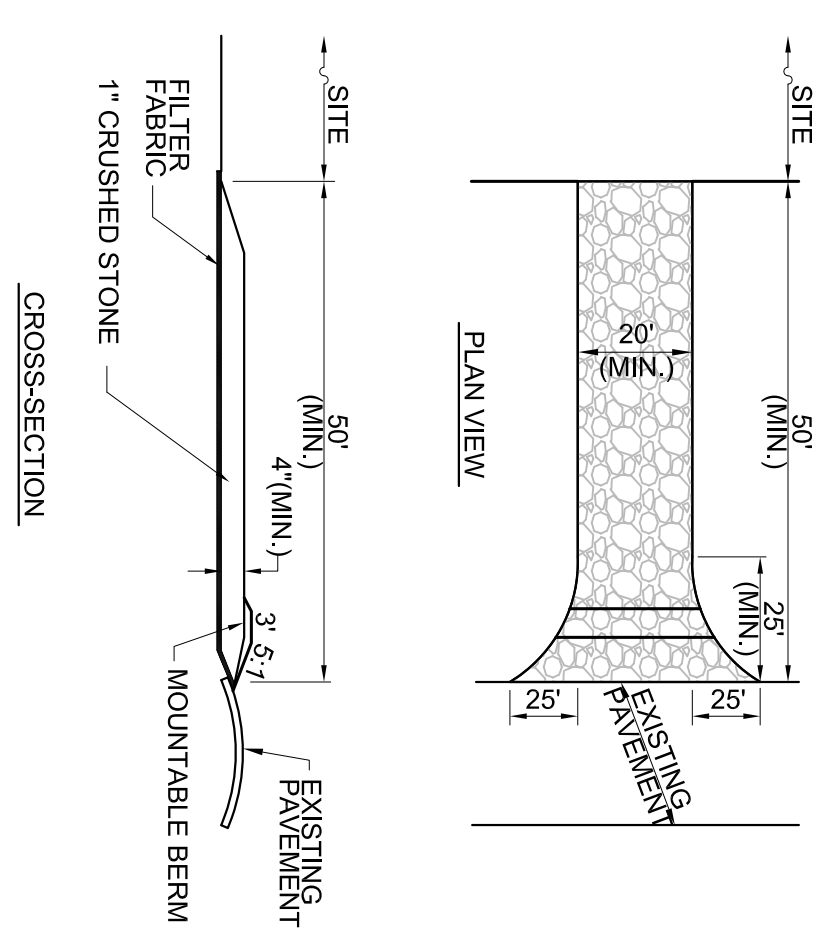
40 MIL. LINER ON ALL SIDES
BOTTOM SET 1' INTO IN-SITU SOIL
TOP SET 2 INCHES ABOVE
CRUSHED STONE

MINIMUM OF 1' INSPECTION PORT CONSISTING OF A 4" PERFORATED PIPE WITH A 4" DIA. CAP
NATURALLY OCCURRING SOIL OR SAND FILL THE PIPE
SHALL BE CAPPED W/ A SCREEN TYPE CAP AND ACCESSIBLE
TO W/VIN 3" OF FINISH GRADE ON GRASS. AT GRADE ON
PAVED.

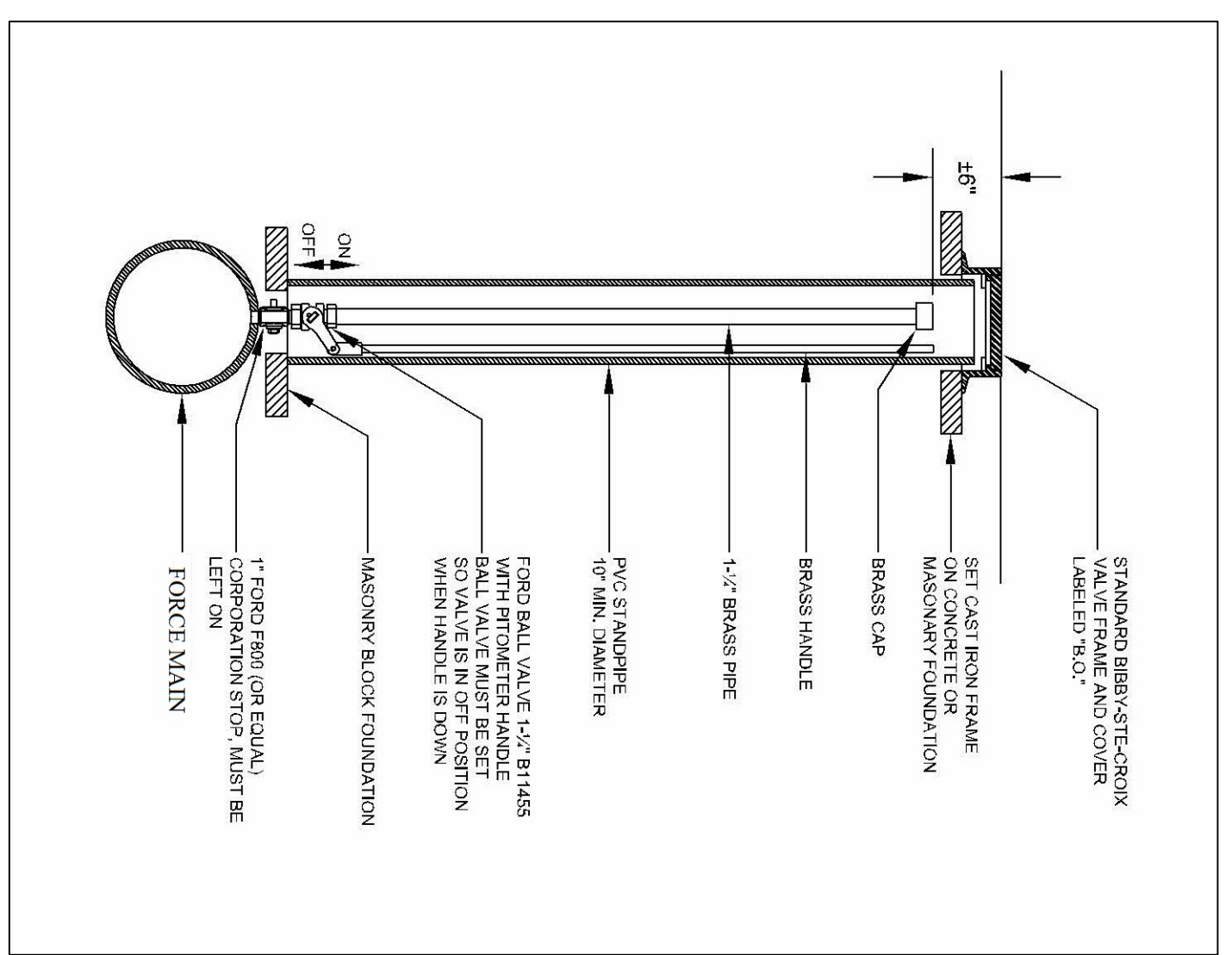


ROOF DRAIN CHAMBER
ELEVATION CHART

ROOF DRAIN CHAMBER LAYOUT DETAIL.
SIDE VIEW



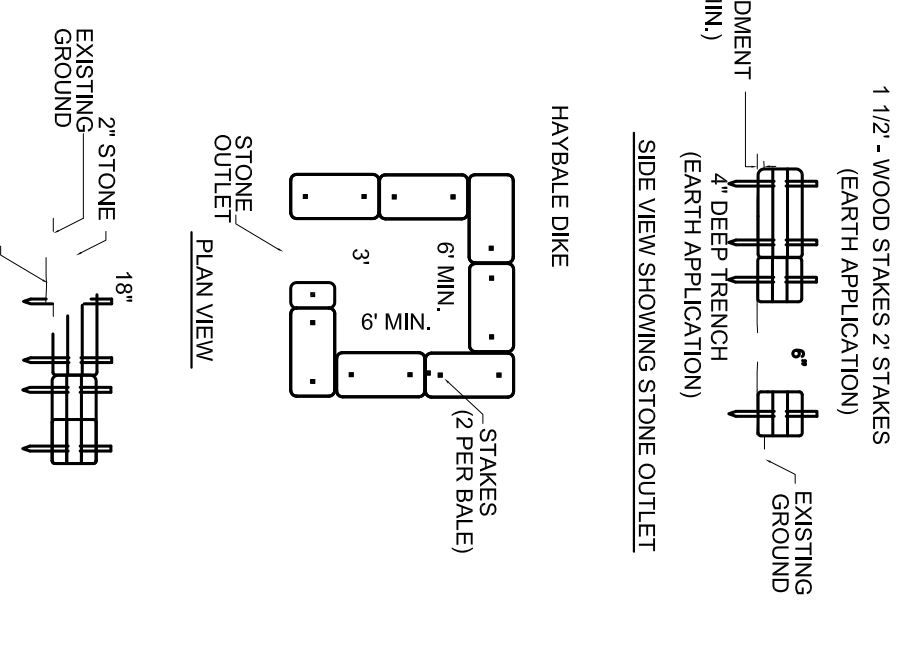
CROSS-SECTION



AIR RELEASE DETAIL
NOT TO SCALE

NOTES:
1. ENTRANCE WIDTH SHALL BE EIGHTEEN (18) FOOT MINIMUM, BUT NOT LESS THAN THE WIDTH OF THE PROPOSED ENTRANCE TO PADDOCK CIRCLE.
2. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH SHALL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND, AND REPAIR OR SEALING OF TRACKS AND RUTS IMMEDIATELY. PERIODIC TOP DRESSING OR DROPPED WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY. BERMS SHALL BE PERMITTED.
3. USE 4-# QUARRY SPILL STONES.

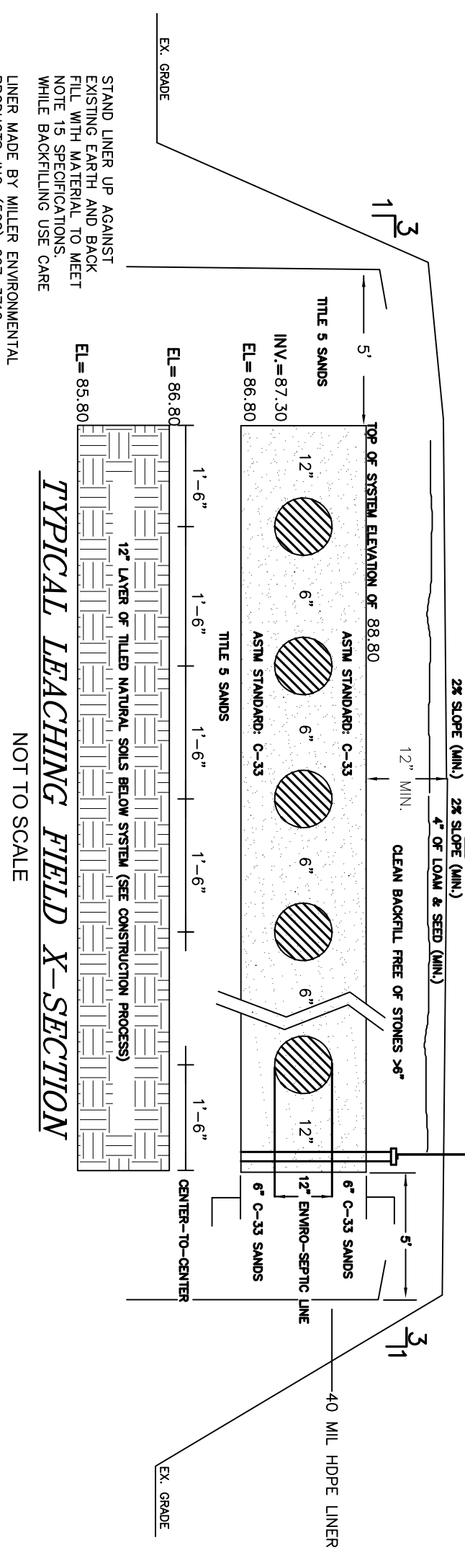
TEMPORARY SEDIMENTATION BASIN
NOT TO SCALE



CONSTRUCTION PROCESS FOR PRESBY SAND BEDS:

- 1- COMBINATION IS TO EXCAVATE TOTAL BOTTOM AREA OF 77'-24" AND 86'-26" TO A DEPTH OF THE C1 LAYER ON SLOPE.
- 2- CONTRACTOR IS TO EXCAVATE BOTTOM HOLE AREA FOR A DEPTH OF 12".
- 3- TITLE 5 SANDS TO BE PUT IN PLACE TO BOTTOM ELEVATION IMMEDIATELY AFTER TILING TO PROTECT BED FROM PRECIPITATION DAMAGE.
- 4- TOP 6" LAYER OF ASPEN C-23 SYSTEM SANDS SHOULD THEN BE PLACED IN CENTER OF HOLE COVERING THE BOTTOM OF THE HOLE TO PROTECT THE UNDERLYING SANDS.
- 5- PIPE NETWORK SHALL BE Laid IN PLACE AND CONNECTED.
- 6- SYSTEM SAND SHOULD THEN BE PLACED OVER ENTIRE PIPE NETWORK TO A TOP ELEVATION (SEE SCHEDULE).
- 7- SYSTEM SAND SHOULD THEN BE PLACED OVER ENTIRE PIPE NETWORK TO A TOP ELEVATION (SEE SCHEDULE).
- 8- COMPLETE VENTING AND INSPECTION PORTS SHALL BE INSTALLED PER TITLE 5 AS SHOWN ON SITE PLAN AND DETAILS AS WELL AS 1' PORT IN THE MIDDLE OF EACH ENDO SEPTIC LINE.
- 9- COMPLETE VENTING AND INSPECTION PORTS SHALL BE INSTALLED PER TITLE 5 AS SHOWN ON SITE PLAN AND DETAILS AS WELL AS 1' PORT IN THE MIDDLE OF EACH ENDO SEPTIC LINE.
- 10- CLEAN TILL PLACED OVER SYSTEM.
- 11- AS-BUILT FOR FINAL GRADES BY ENGINEER.

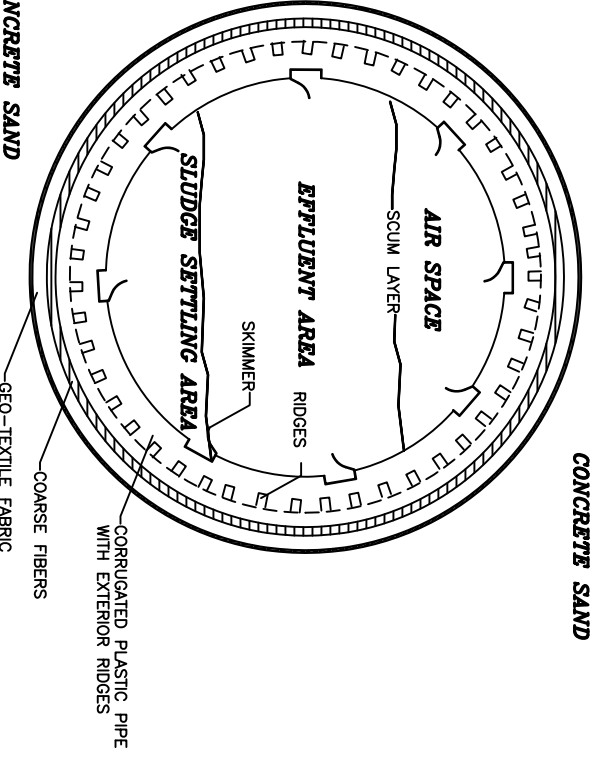
MINIMUM OF 2 INSPECTION PORT CONSISTING OF A 4" PERFORATED PIPE PLACED VERTICALLY DOWN INTO THE STONE TO THE NATURALLY OCCURRING SOIL OR SAND FILL THE PIPE SHALL BE CAPPED W/ A SCREEN TYPE CAP AND ACCESSIBLE TO W/VIN 3" OF FINISH GRADE.



TYPICAL LEACHING FIELD X-SECTION
NOT TO SCALE

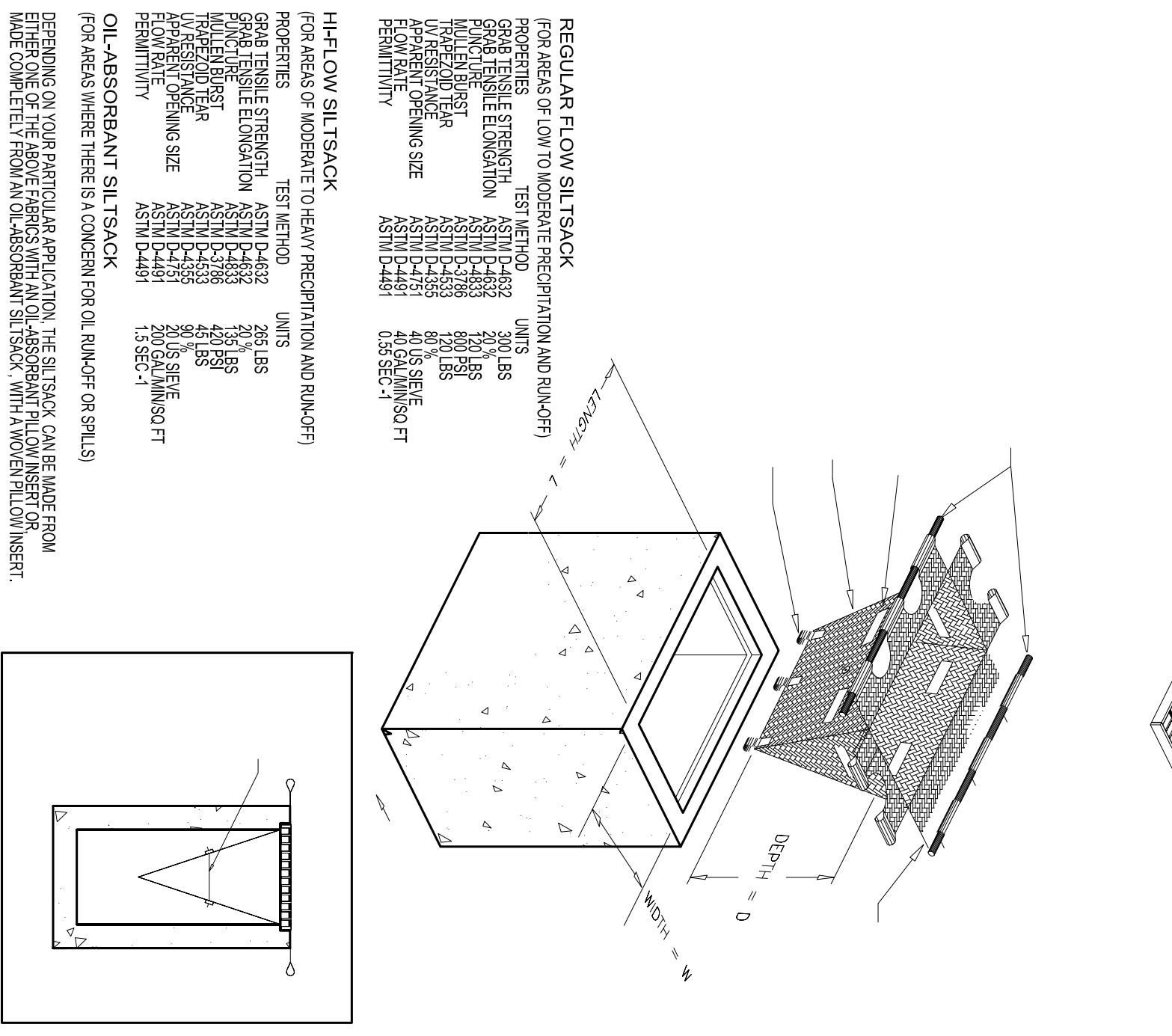
PRESBY SYSTEM DETAILS
NOT TO SCALE

ENVIRO-SEPTIC SYSTEM DETAIL

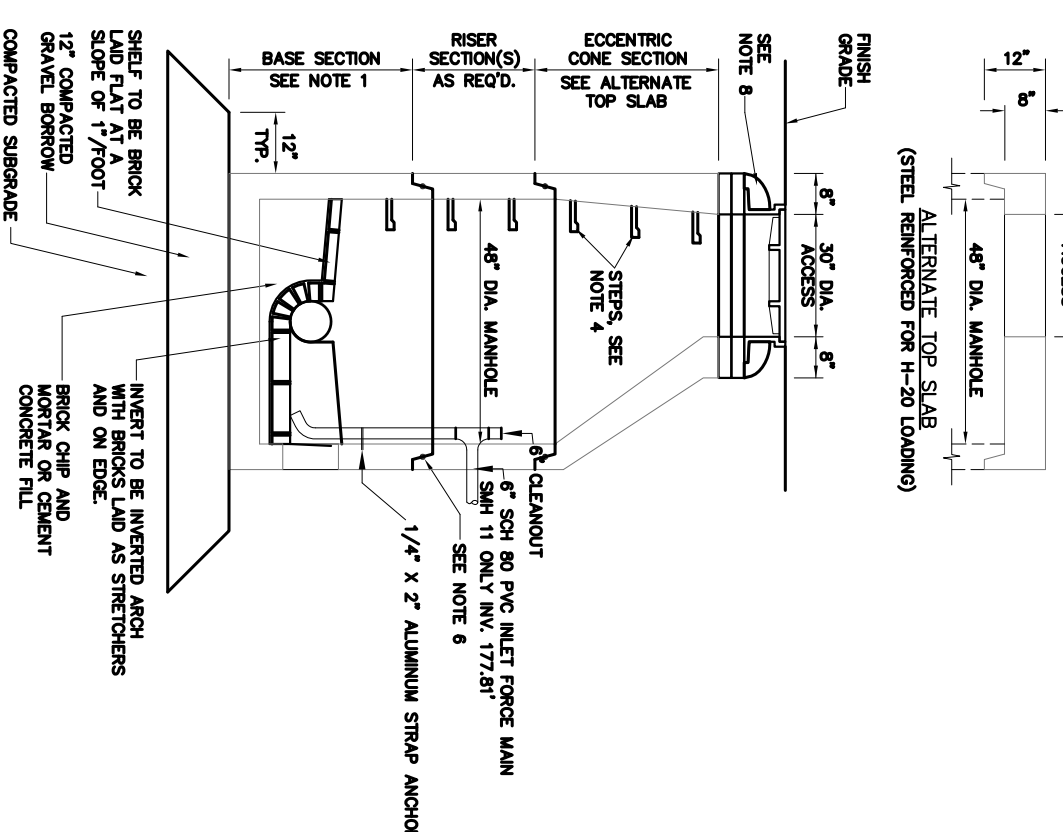


NOTES:
1.) ENVIRO-SEPTIC SUPPLIED BY PRESBY ENVIRONMENTAL, INC. (NANINGUE SEPTIC TECHNOLOGIES) (45 Airport Road, Whitefield, NH 03598, 1-800-493-2589)
2.) OPERATION AND MAINTENANCE PLAN TO BE COMPLETED BY INSTALLER WITH A MINIMUM OF 30 DAYS PRIOR TO START OF CONSTRUCTION.
3.) OPERATION AND MAINTENANCE PLAN TO BE COMPLETED BY INSTALLER WITH A MINIMUM OF 30 DAYS PRIOR TO START OF CONSTRUCTION.
4.) ONLY AN APPROVED INSTALLER WHO HAS ATTENDED THE ENVIRO-SEPTIC OPERATOR TRAINING COURSE SHALL BE ALLOWED TO INSTALL THE ENVIRO-SEPTIC SYSTEM.

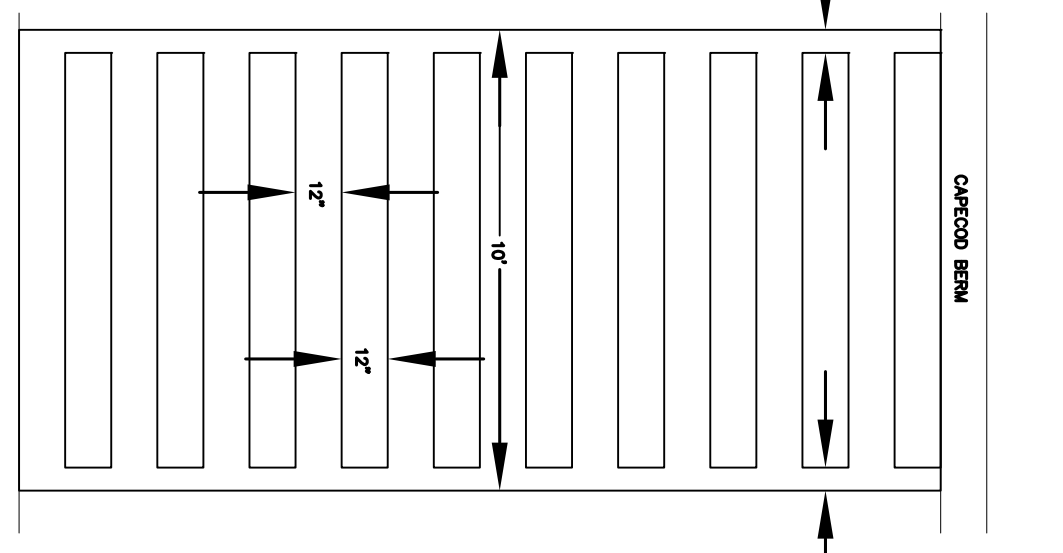
SILT SACK SPECIFICATIONS
NOTE: THE SILT SACK WILL BE SUPPLIED FROM A REPUTABLE MANUFACTURER THAT MEETS OR EXCEEDS THE FOLLOWING SPECIFICATIONS:



SILT SACK DETAIL
NOT TO SCALE



SEWER MANHOLE DETAIL
NOT TO SCALE



CROSSWALK DETAIL
NOT TO SCALE

REVISIONS:

| No. | DESCRIPTION | DATE |
|-----|----------------------|--------|
| 1. | REV. FOR 3/8/23 MTG. | 3/2/23 |

PROJECT TITLE: _____

DATE: FEBRUARY 16, 2023
 COMP/DESIGN: A. ESPOSITO
 CHECK: M. D. CASEY
 DRAWN: A. ESPOSITO
 FIELD: LILIPS
 APPROVED: M. D. CASEY
 DWG. NO. 1908 DET1
 JOB NO. 1908

10 SHEET OF 16

PREPARED FOR:
LOTZDALE, LLC
S/O SALT MEADOW DEVELOPMENT
 107 EAST STREET
 DUXBURY, MA 02592

SCALE: 1" = 50'

REGISTERED LAND SURVEYORS
South Shore Consultants, Inc.
 & CIVIL ENGINEERS
 167 R SUMMER STREET
 KINGSTON, MA 02364
 781-582-2185
 mark@ssocinc.net

PREPARED BY:
 PARCEL 41-1-3-D
 PARCEL 41-1-3-0

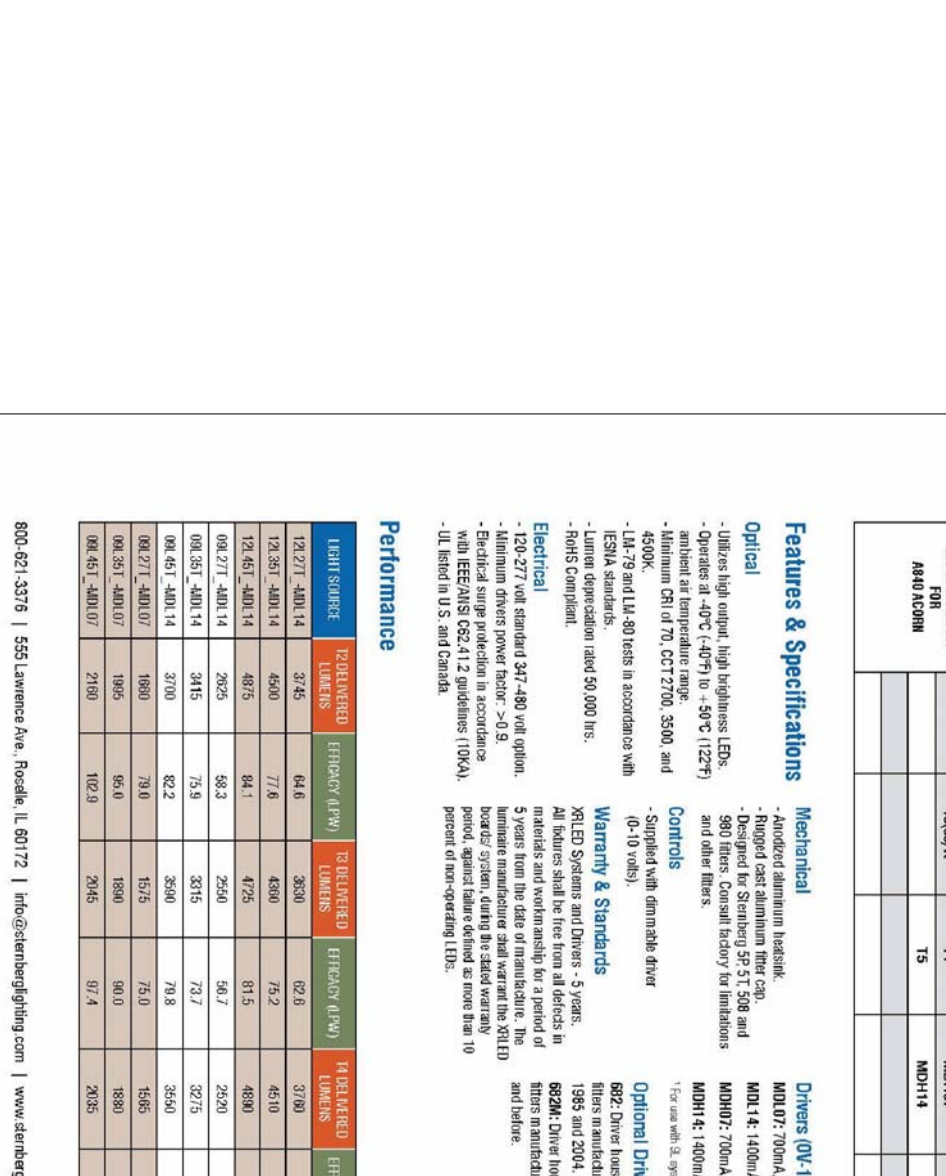
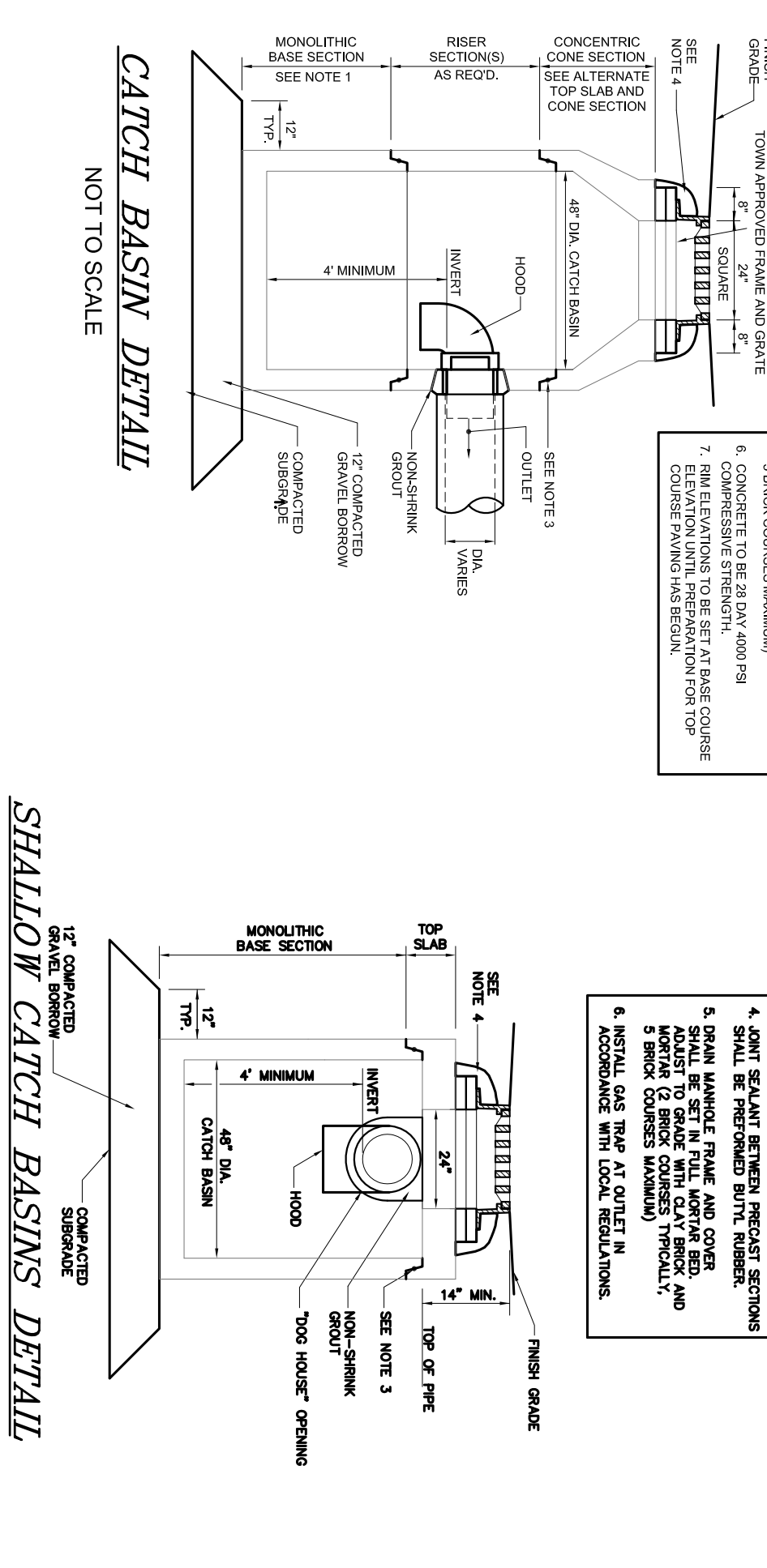
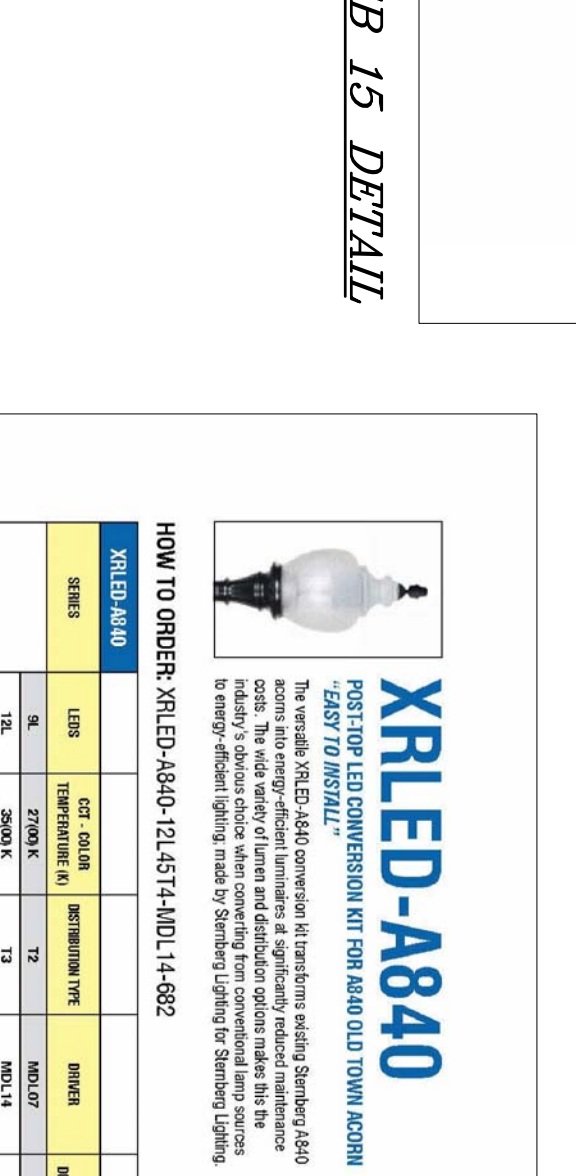
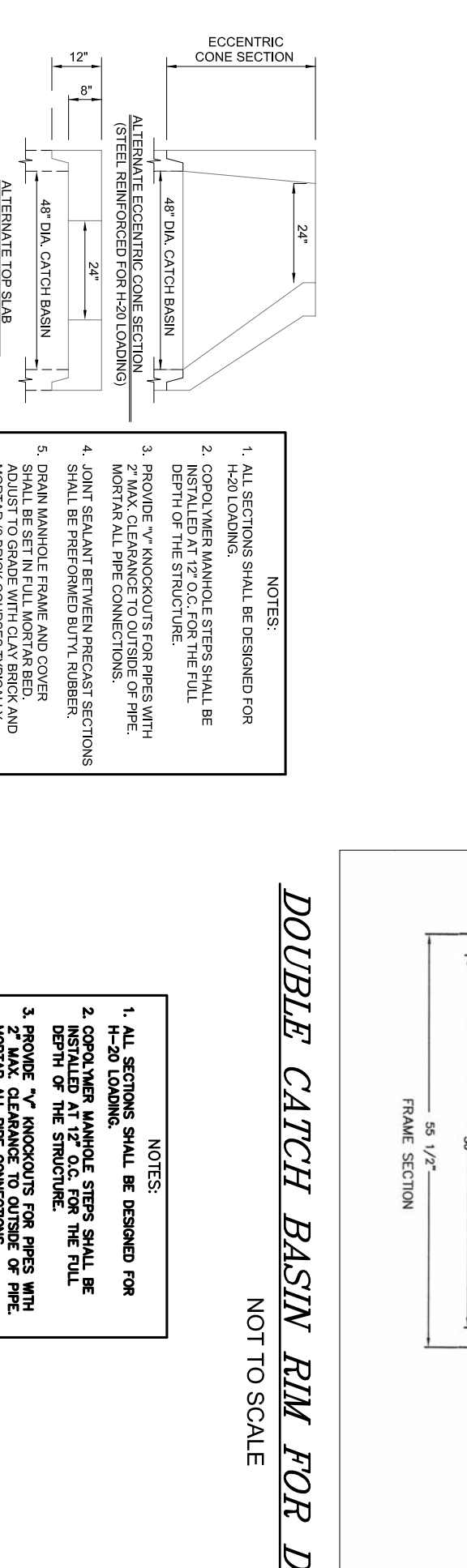
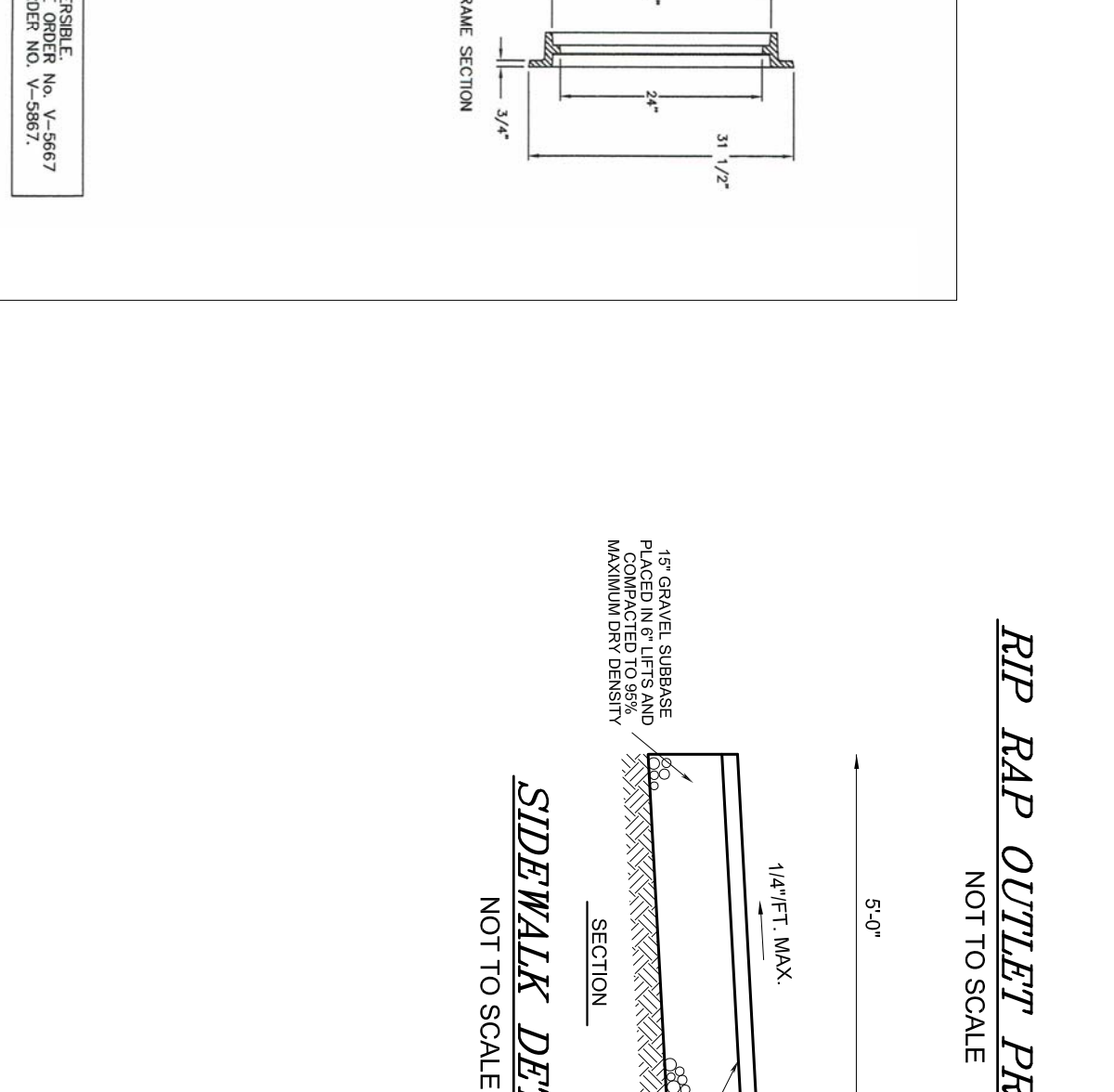
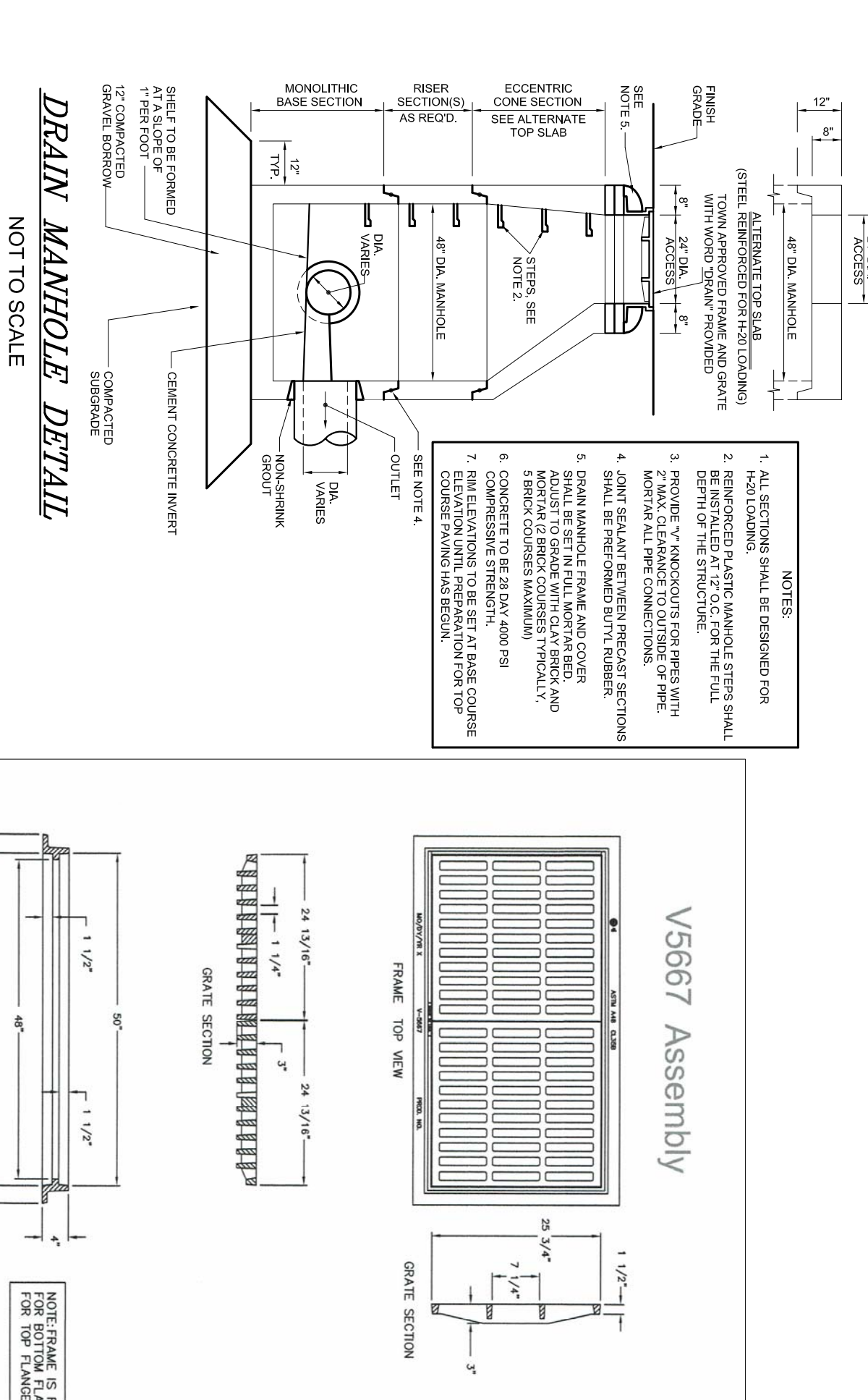
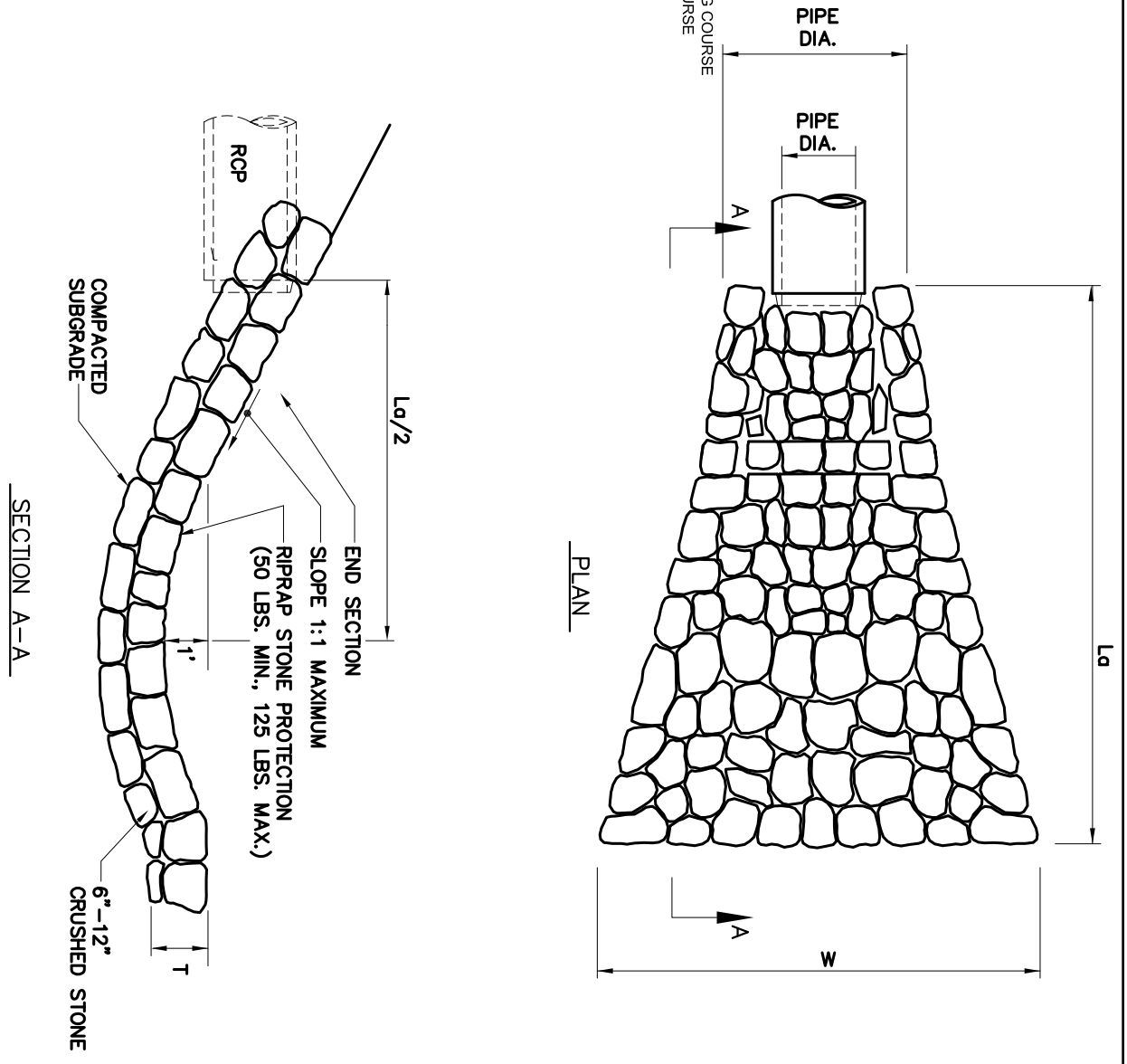
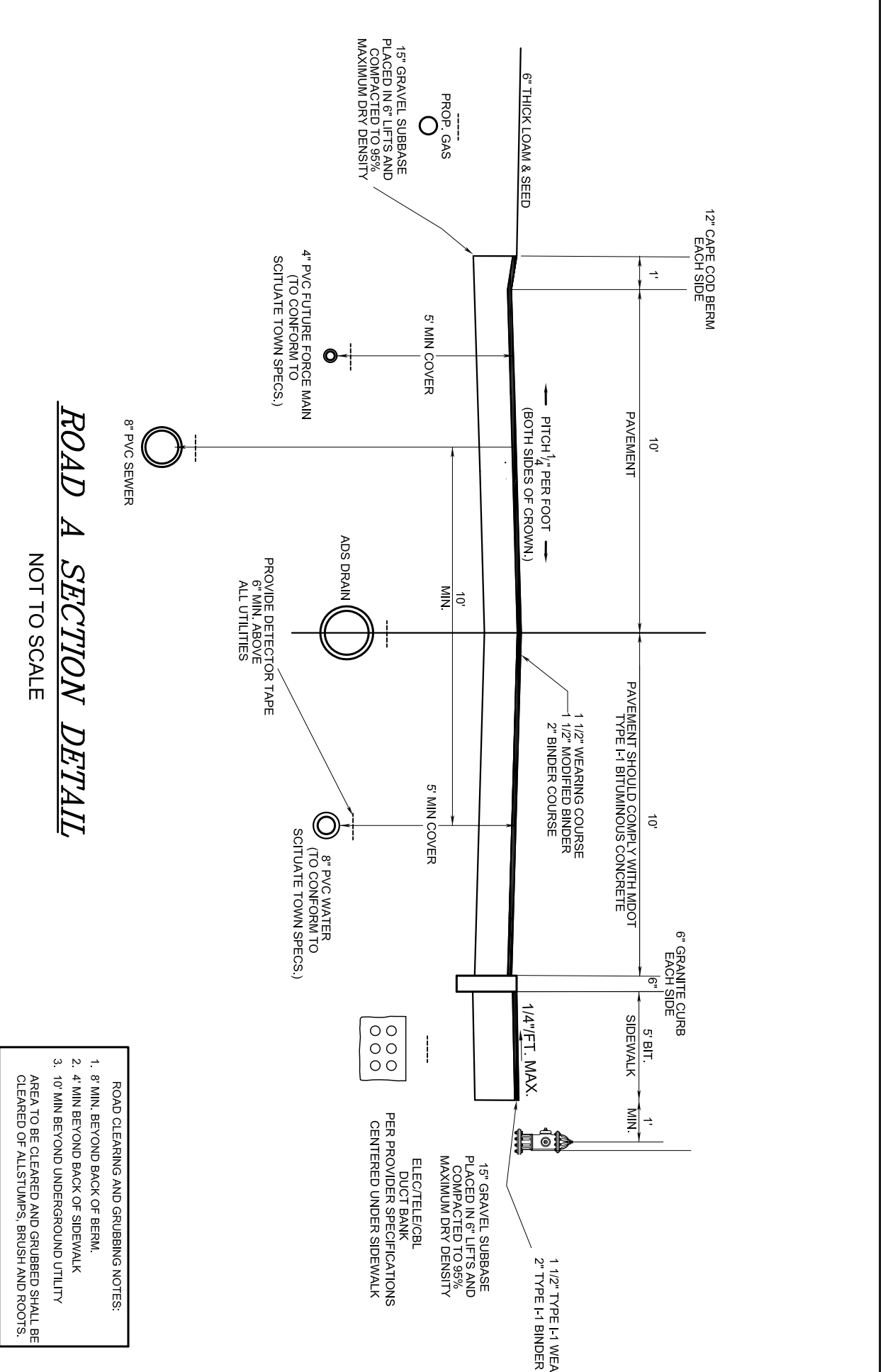
THE COTTAGES AT OLD OAKEN BUCKET AT #279-281 OLD OAKEN BUCKET ROAD SCITUATE, MA

CONSTRUCTION DETAILS 1 PLAN

3/2/2023

COMMONWEALTH OF MASSACHUSETTS
 ANTHONY J. ESPOSITO
 CIVIL ENGINEER
 NO. 39126
 REGISTERED PROFESSIONAL ENGINEER

| GRID # | DO (DIA.) | LENGTH | 3000 (WIDTH) | 1500 (DEPTH) |
|--------|-----------|--------|--------------|--------------|
| 3 | 8" | 11'-0" | 2'-0" | 13'-0" |
| 4 | 21" | 23'-0" | 5'-0" | 28'-0" |
| | | | | 12" |



XRLLED-A840
ROTTING LED COMPACTOR FOR ROAD AND TOWN LIGHTS
EAST TO INSTALL

PRODUCT SPECIFICATIONS:
1. 100W LED
2. 120V AC
3. 1000LM
4. 5000K
5. 10000HRS

PERFORMANCE:
LUMEN PER WATT: 10
EFFECTIVE LUMEN OUTPUT: 10000
POWER CONSUMPTION: 100W

HYDRO MANHOLE DETAIL
NOT TO SCALE

PRODUCT SPECIFICATIONS:
1. 48" DIA. MANHOLE
2. 12" RISE SECTIONS
3. 48" DIA. CATCH BASIN

GENERAL REQUIREMENTS:
1. ALL SECTIONS SHALL BE DESIGNED FOR UNIFORM LOADS.
2. CONCRETE SHALL BE 2800 PSI WITH A MINIMUM SLAB THICKNESS OF 12" FOR THE FULL DEPTH OF THE STRUCTURE.
3. FINISH TO BE FINISHED TO FINISH GRADE.
4. JOINT SEALANT BETWEEN REINFORCING SECTIONS SHALL BE PERFORMED BUTY RUBBER.
5. SMALL MANHOLE FRAME AND COVER SHALL BE SET IN 12" OF CONCRETE TO BE 2800 PSI AND REINFORCED WITH 2# REINFORCING BARS.
6. COMPRESSIVE STRENGTH SHALL BE 2800 PSI.
7. RISE ELEVATIONS TO BE SET IN BASE COURSE ELEVATION WITH REINFORCING FOR TOP REINFORCING BARS.

HYDRO MANHOLE DETAIL
NOT TO SCALE

PRODUCT SPECIFICATIONS:
1. 48" DIA. MANHOLE
2. 12" RISE SECTIONS
3. 48" DIA. CATCH BASIN

GENERAL REQUIREMENTS:
1. ALL SECTIONS SHALL BE DESIGNED FOR UNIFORM LOADS.
2. CONCRETE SHALL BE 2800 PSI WITH A MINIMUM SLAB THICKNESS OF 12" FOR THE FULL DEPTH OF THE STRUCTURE.
3. FINISH TO BE FINISHED TO FINISH GRADE.
4. JOINT SEALANT BETWEEN REINFORCING SECTIONS SHALL BE PERFORMED BUTY RUBBER.
5. SMALL MANHOLE FRAME AND COVER SHALL BE SET IN 12" OF CONCRETE TO BE 2800 PSI AND REINFORCED WITH 2# REINFORCING BARS.
6. COMPRESSIVE STRENGTH SHALL BE 2800 PSI.
7. RISE ELEVATIONS TO BE SET IN BASE COURSE ELEVATION WITH REINFORCING FOR TOP REINFORCING BARS.

HYDRO MANHOLE DETAIL
NOT TO SCALE

PRODUCT SPECIFICATIONS:
1. 48" DIA. MANHOLE
2. 12" RISE SECTIONS
3. 48" DIA. CATCH BASIN

GENERAL REQUIREMENTS:
1. ALL SECTIONS SHALL BE DESIGNED FOR UNIFORM LOADS.
2. CONCRETE SHALL BE 2800 PSI WITH A MINIMUM SLAB THICKNESS OF 12" FOR THE FULL DEPTH OF THE STRUCTURE.
3. FINISH TO BE FINISHED TO FINISH GRADE.
4. JOINT SEALANT BETWEEN REINFORCING SECTIONS SHALL BE PERFORMED BUTY RUBBER.
5. SMALL MANHOLE FRAME AND COVER SHALL BE SET IN 12" OF CONCRETE TO BE 2800 PSI AND REINFORCED WITH 2# REINFORCING BARS.
6. COMPRESSIVE STRENGTH SHALL BE 2800 PSI.
7. RISE ELEVATIONS TO BE SET IN BASE COURSE ELEVATION WITH REINFORCING FOR TOP REINFORCING BARS.

ROAD B SECTION DETAIL
NOT TO SCALE

NOTES:
1. ALL SECTIONS SHALL BE DESIGNED FOR UNIFORM LOADS.
2. CONCRETE SHALL BE 2800 PSI WITH A MINIMUM SLAB THICKNESS OF 12" FOR THE FULL DEPTH OF THE STRUCTURE.
3. FINISH TO BE FINISHED TO FINISH GRADE.
4. JOINT SEALANT BETWEEN REINFORCING SECTIONS SHALL BE PERFORMED BUTY RUBBER.
5. SMALL MANHOLE FRAME AND COVER SHALL BE SET IN 12" OF CONCRETE TO BE 2800 PSI AND REINFORCED WITH 2# REINFORCING BARS.
6. COMPRESSIVE STRENGTH SHALL BE 2800 PSI.
7. RISE ELEVATIONS TO BE SET IN BASE COURSE ELEVATION WITH REINFORCING FOR TOP REINFORCING BARS.

CONSTRUCTION DETAILS 2 PLAN

PARCEL 41-1-3-D
PARCEL 41-1-3-0

PREPARED BY: **South Shore Consultants, Inc.**

REGISTERED LAND SURVEYORS & CIVIL ENGINEERS
167 R SUMMER STREET
KINGSTON, MA 02364
781-582-2185
mark@sscinc.net

PREPARED FOR: **LOVEDALE, LLC**
S/O SALT MEADOW DEVELOPMENT
107 EAST STREET
DUXBURY, MA 02332

DATE: FEBRUARY 16, 2023
COMP/DESIGN: A. ESPOSITO
CHECK: M. D. CASEY
DRAWN: A. ESPOSITO
FIELD: ILIUPS

APPROVED: M. D. CASEY
DWG. NO. 1908 DET2
JOB NO. 1908

SHEET 11 OF 16

REVISIONS:

| No. | DESCRIPTION | DATE |
|-----|---------------------|--------|
| 1. | REV. FOR 3/8/23 MTG | 3/2/23 |

PROJECT TITLE: _____

THE COTTAGES AT OLD OAKEN BUCKET AT #279-281 OLD OAKEN BUCKET ROAD SCITUATE, MA

3/2/2023

COMMERCIAL DIV. OF MASS CHASE REGISTERED PROFESSIONAL ENGINEER
KENTON A. ESPOSITO
NO. 39782

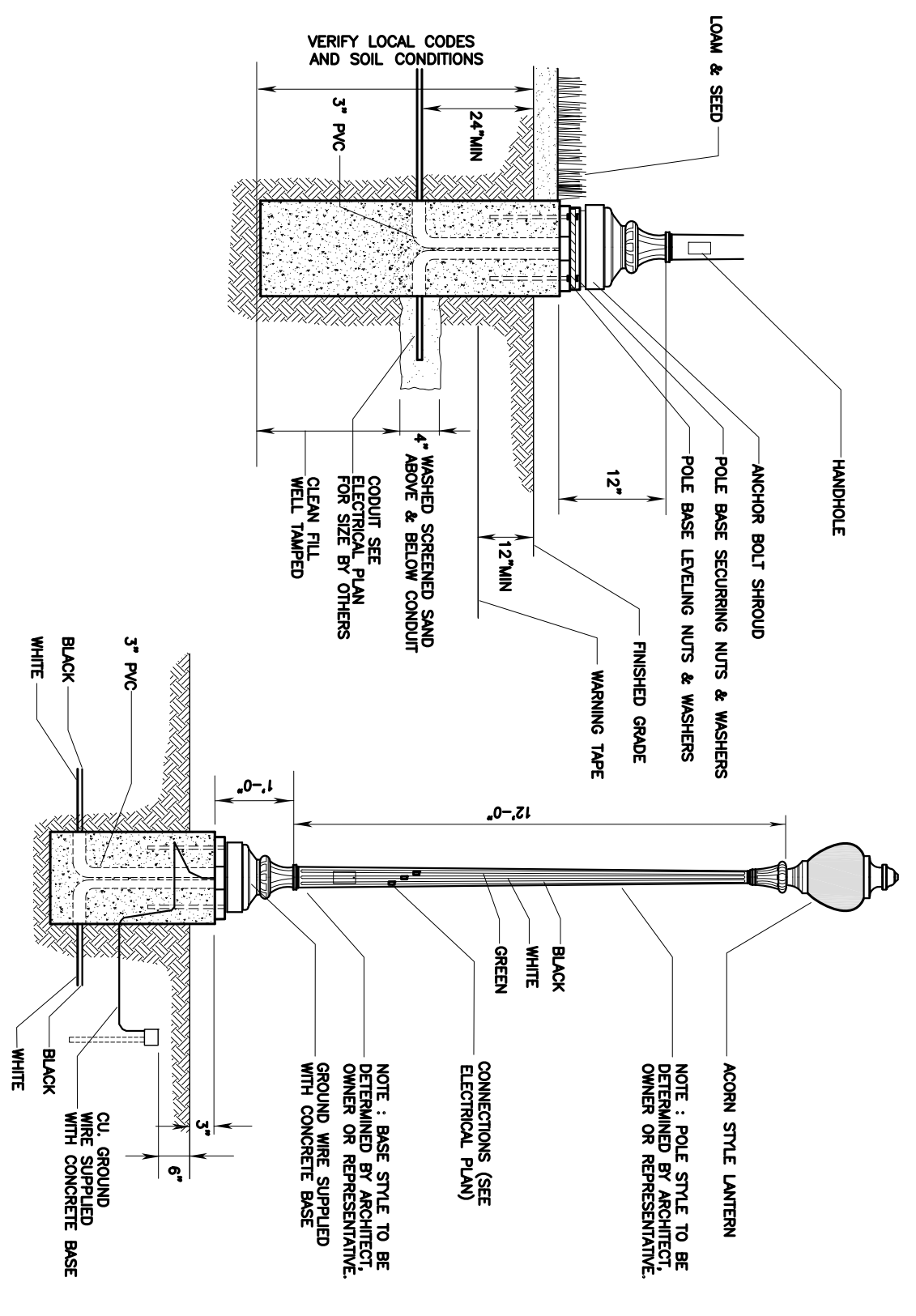
3/2/2023

NOTES

UP TO 10 FT LOCAL RETAINMENT REPAIRS USING SPREADER TO RESTORE AND LOCAL REPAIRS FROM TO CONSTRUCTION.

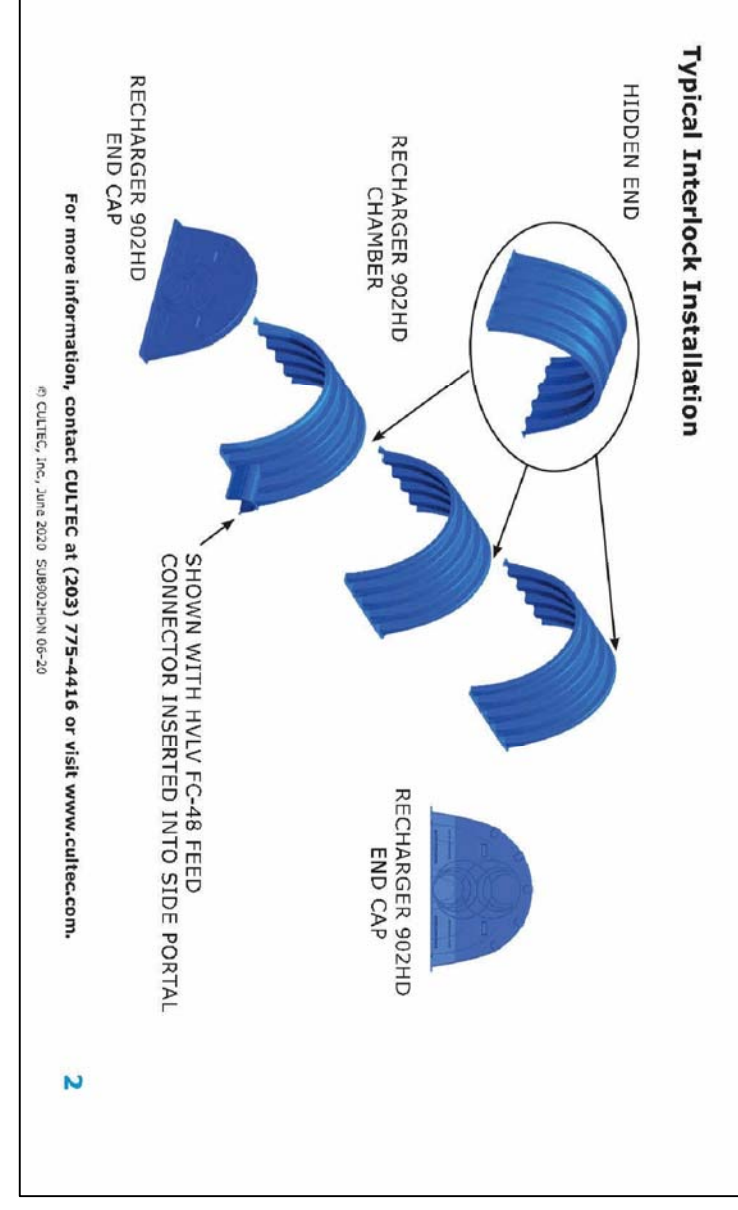
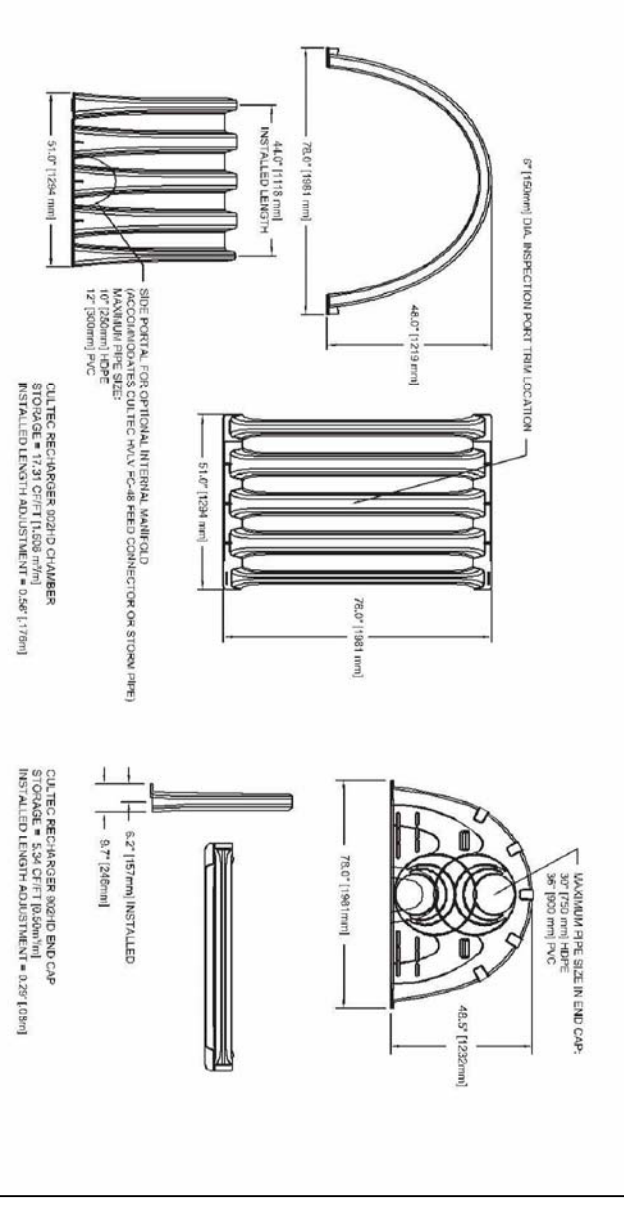
LEFT SIDE TO BE FINISHED AND INSTALLED BY THE ELECTRICAL CONTRACTOR. STARTS TO BE REPAIRED FROM TO CONSTRUCTION. DETAILS OF LEFT COMPONENTS SHALL BE PROVIDED BY MANUFACTURER AND APPROVED BY ARCHITECT PRIOR TO ANY CONSTRUCTION.

STATE NO. 2207 POLE CAST ALUMINUM WITH LUMINAIRE ACORN AND MTR. AVAILABLE IN HEIGHTS UP TO 200' PLUS LUMINAIRE. AVAILABLE UP TO 200' W HOOKS/SCREWS. 175' W HOOKS/SCREWS.

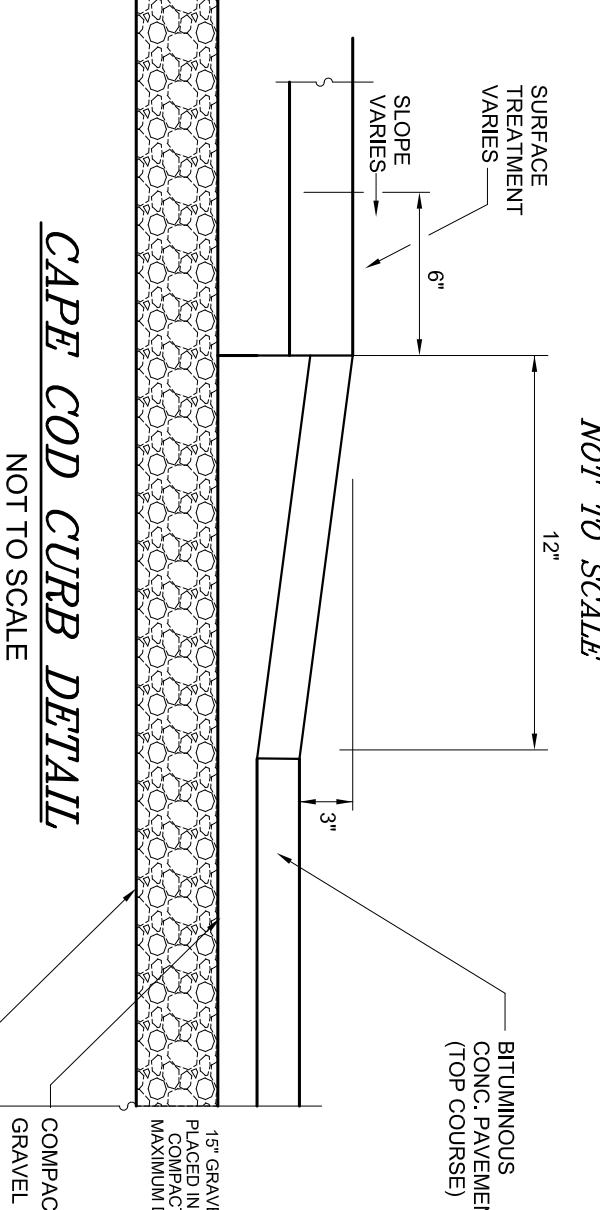


STREET LIGHT DETAIL
NOT TO SCALE

CULTEC RECHARGER 902HD STORMWATER CHAMBER



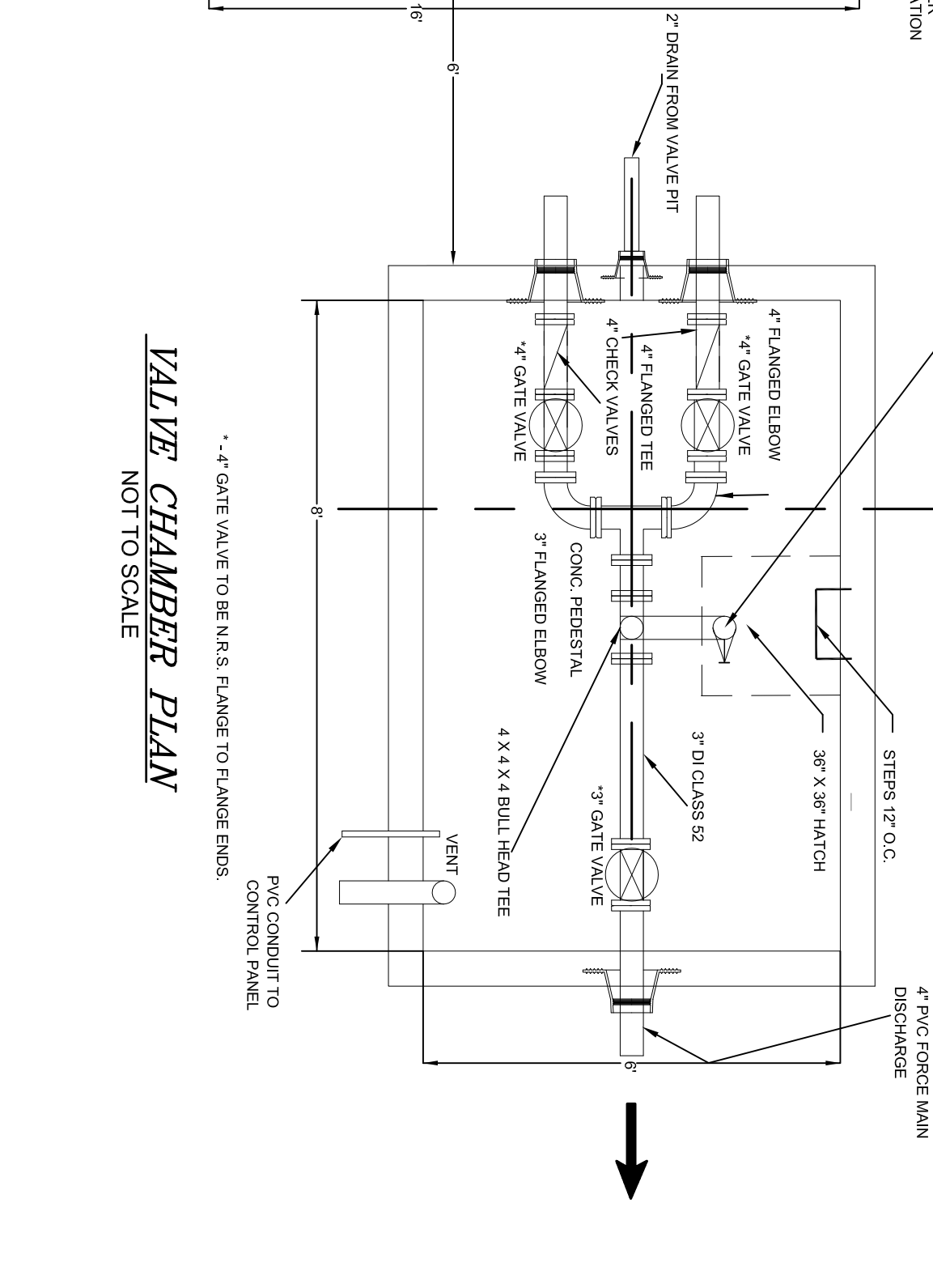
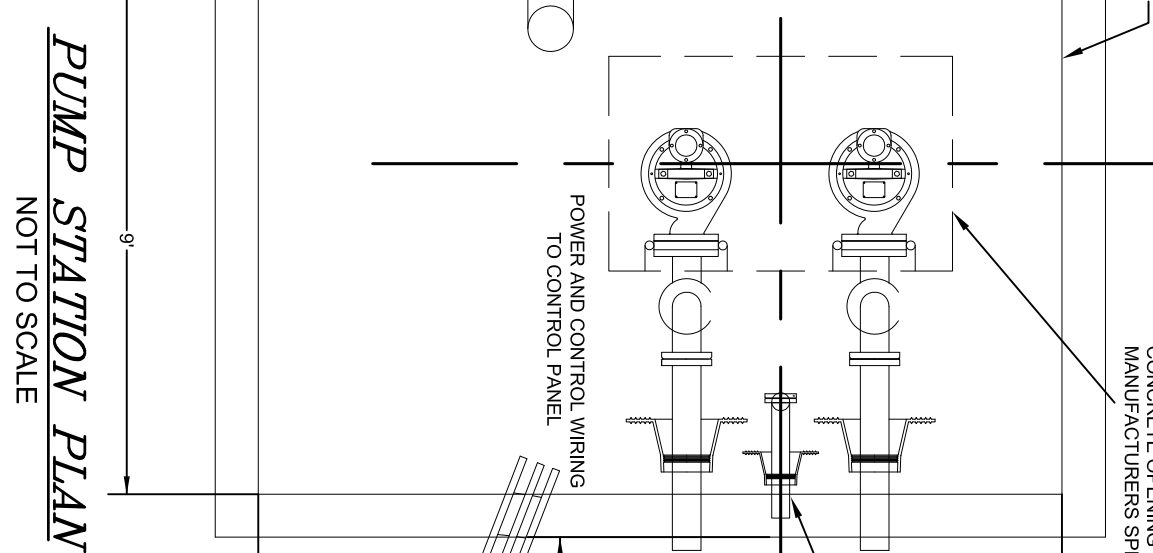
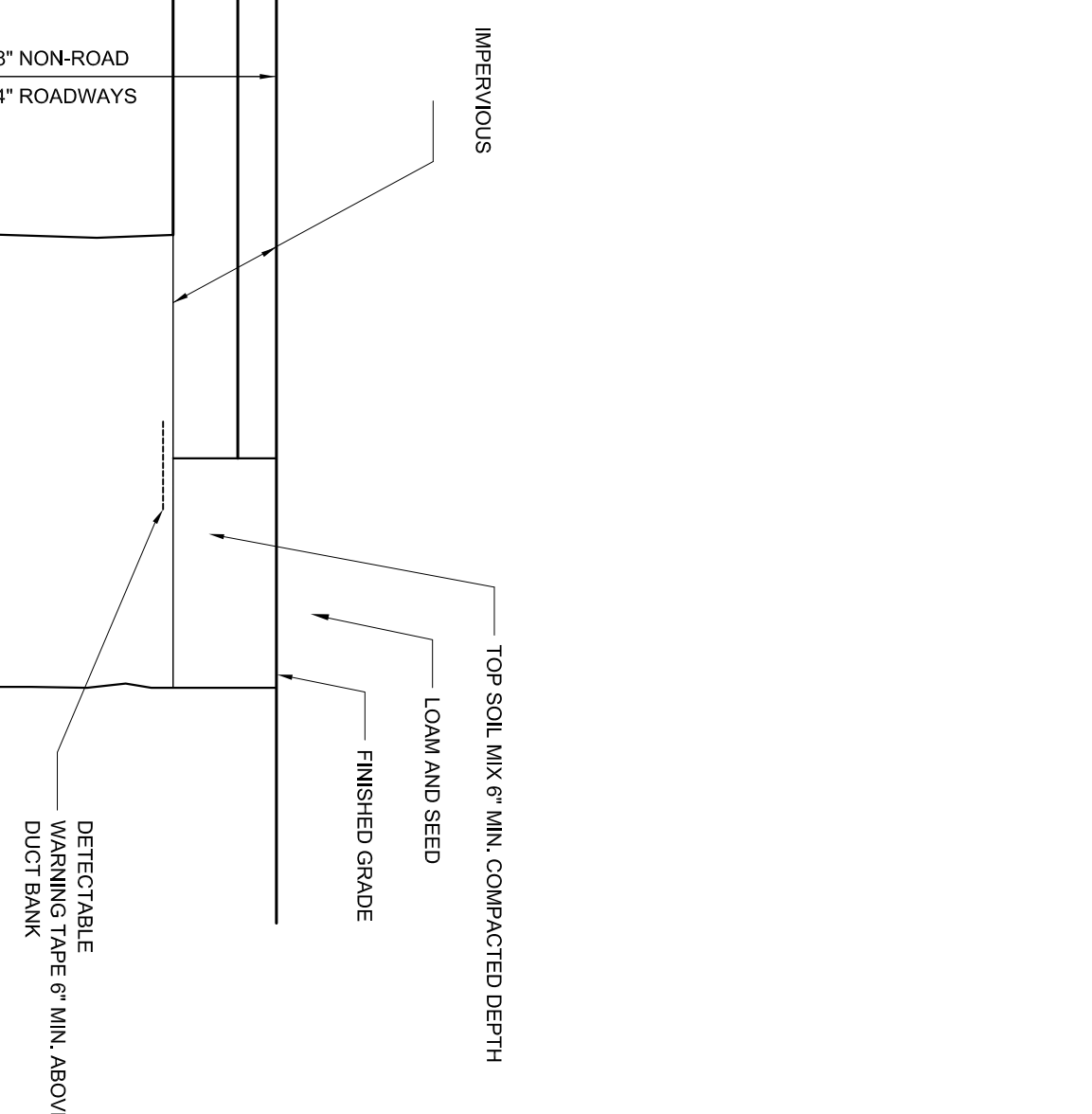
CULTEC R-902HD CHAMBER DETAIL
OR EQUAL
NOT TO SCALE



CAPE COD CURB DETAIL
NOT TO SCALE



TRENCH DETAIL
NOT TO SCALE



BIOWATER CALCULATIONS

WASTEWATER PRODUCTION RATE = 77.90 GPD PER PERSON

WASTEWATER PRODUCTION RATE = 77.90 GPD PER PERSON

BIOWATER CALCULATIONS

DESIGN FLOW = 7200 GPD

VOLUME OF STORAGE TANK = 114.74 FT³ (7.7 X 1.56 FT X 14.22 FT)

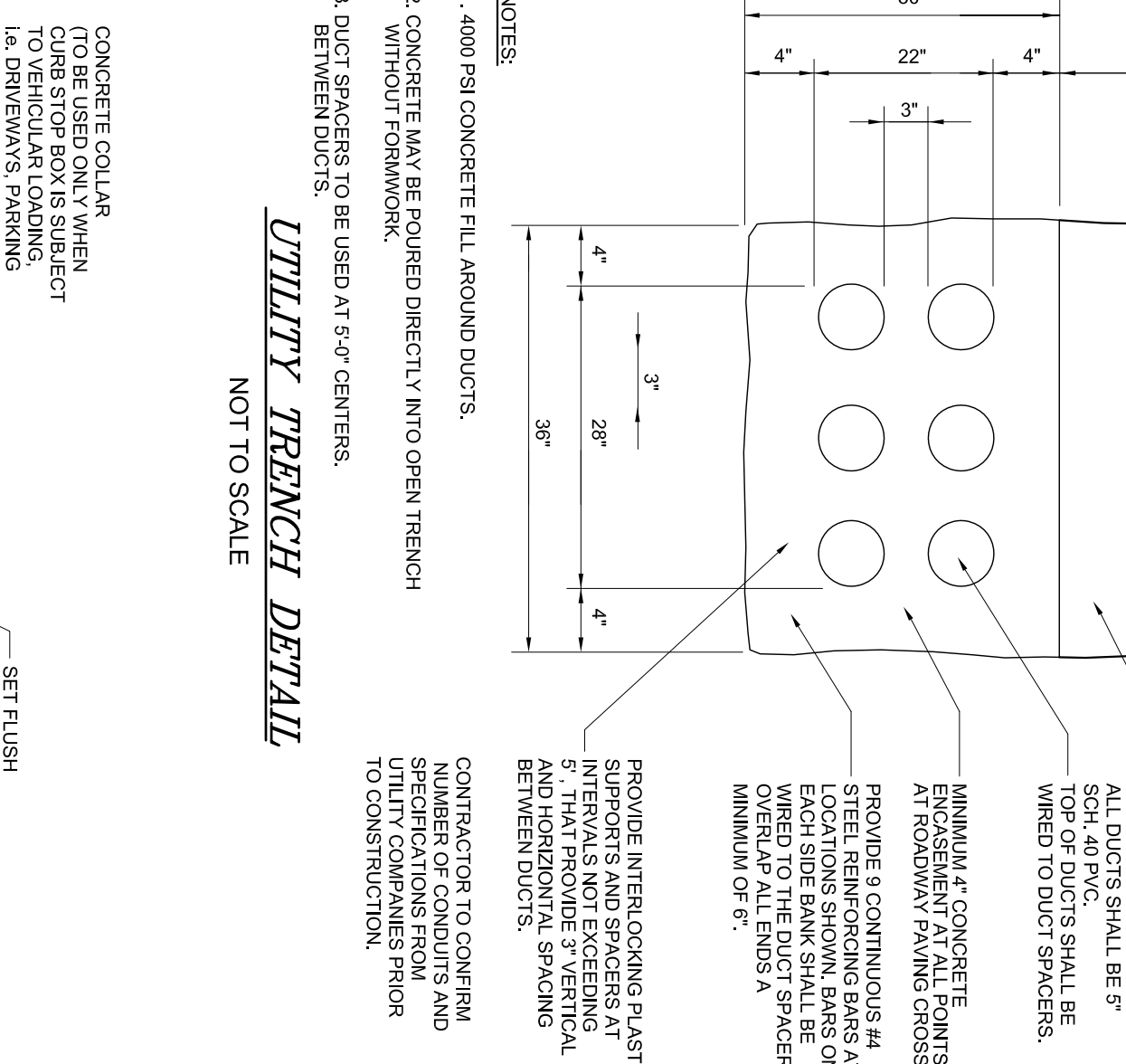
VOLUME OF STORAGE TANK = 114.74 FT³ (7.7 X 1.56 FT X 14.22 FT)

BIOWATER CALCULATIONS

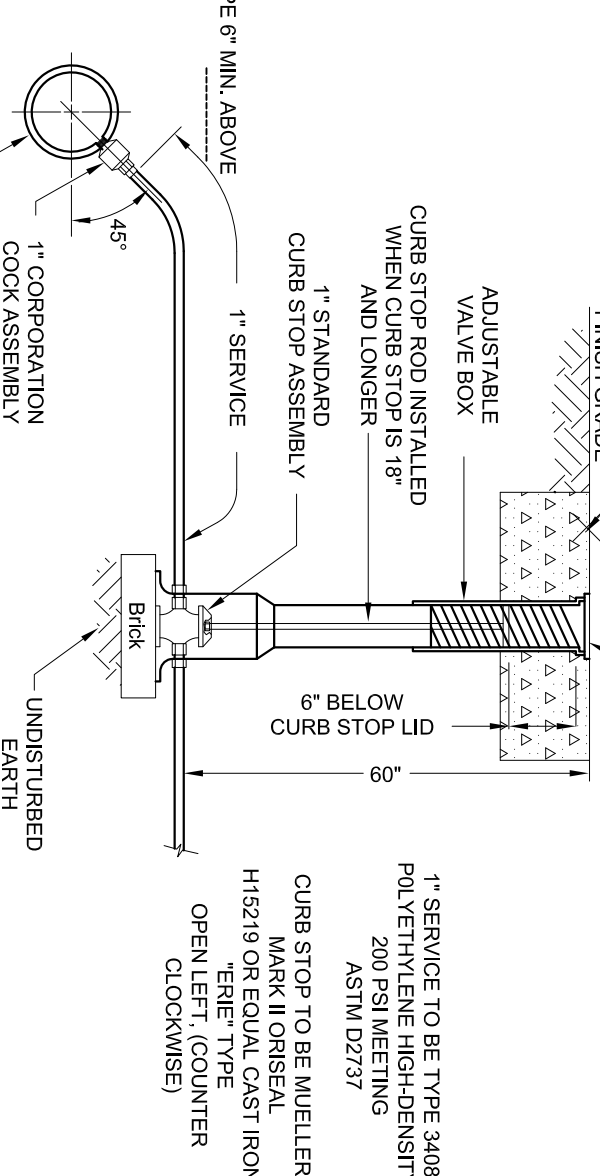
DESIGN FLOW = 7200 GPD

VOLUME OF STORAGE TANK = 114.74 FT³ (7.7 X 1.56 FT X 14.22 FT)

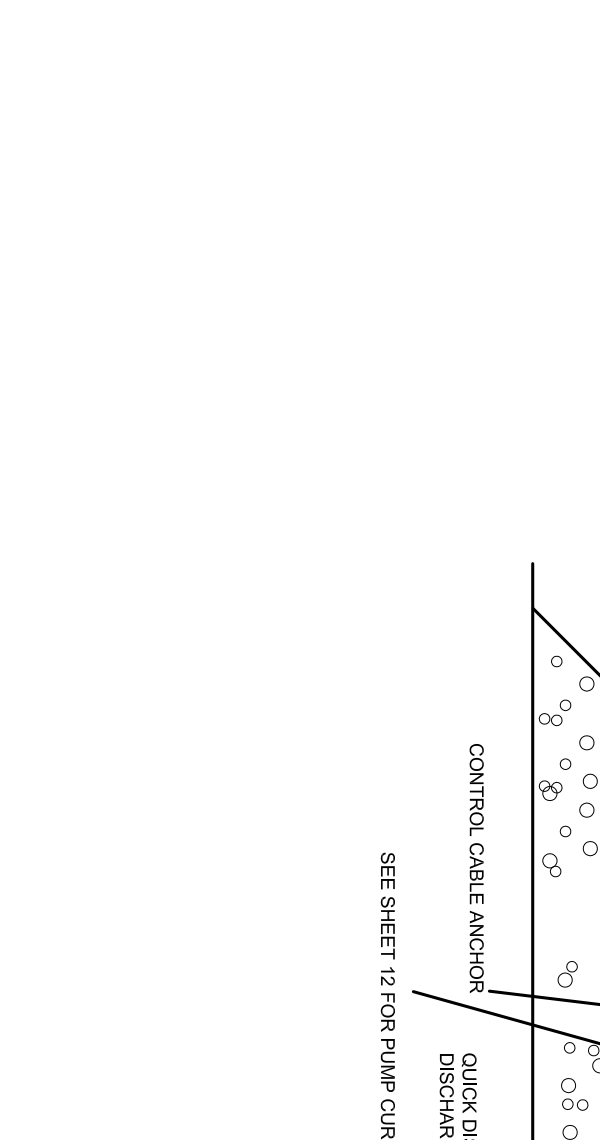
VOLUME OF STORAGE TANK = 114.74 FT³ (7.7 X 1.56 FT X 14.22 FT)



UTILITY TRENCH DETAIL
NOT TO SCALE



WATER SERVICE DETAIL
NOT TO SCALE



BIOWATER CALCULATIONS

WASTEWATER PRODUCTION RATE = 77.90 GPD PER PERSON

WASTEWATER PRODUCTION RATE = 77.90 GPD PER PERSON

BIOWATER CALCULATIONS

DESIGN FLOW = 7200 GPD

VOLUME OF STORAGE TANK = 114.74 FT³ (7.7 X 1.56 FT X 14.22 FT)

VOLUME OF STORAGE TANK = 114.74 FT³ (7.7 X 1.56 FT X 14.22 FT)

BIOWATER CALCULATIONS

DESIGN FLOW = 7200 GPD

VOLUME OF STORAGE TANK = 114.74 FT³ (7.7 X 1.56 FT X 14.22 FT)

VOLUME OF STORAGE TANK = 114.74 FT³ (7.7 X 1.56 FT X 14.22 FT)

| REVISIONS: | NO. | DESCRIPTION | DATE |
|------------|-----|---------------------|--------|
| | 1. | REV. FOR 3/8/23 MFG | 3/2/23 |

PROJECT TITLE:

DATE: FEBRUARY 16, 2023

COMP/DESIGN: A. ESPOSITO

CHECK: M. D. CASEY

DRAWN: A. ESPOSITO

FIELD: LILIPS

APPROVED: M. D. CASEY

DWG. NO. 1908 DET3

SHEET 12 OF 16

THE COTTAGES AT OLD OAKEN BUCKET AT #279-281 OLD OAKEN BUCKET ROAD SCITUATE, MA

CONSTRUCTION DETAILS 3 PLAN

PARCEL 41-1-3-D PARCEL 41-1-3-0

PREPARED BY:

South Shore Consultants, Inc. REGISTERED LAND SURVEYORS & CIVIL ENGINEERS 167 R SUMMER STREET KINGSTON, MA 02364 781-582-2185 mark@ssconic.net

PREPARED FOR: LOYNDALE, LLC S/O SALT MADOW DEVELOPMENT 107 EAST STREET DUXBURY, MA 02332

SCALE: 1" = 50'

DATE: FEBRUARY 16, 2023

COMP/DESIGN: A. ESPOSITO

CHECK: M. D. CASEY

DRAWN: A. ESPOSITO

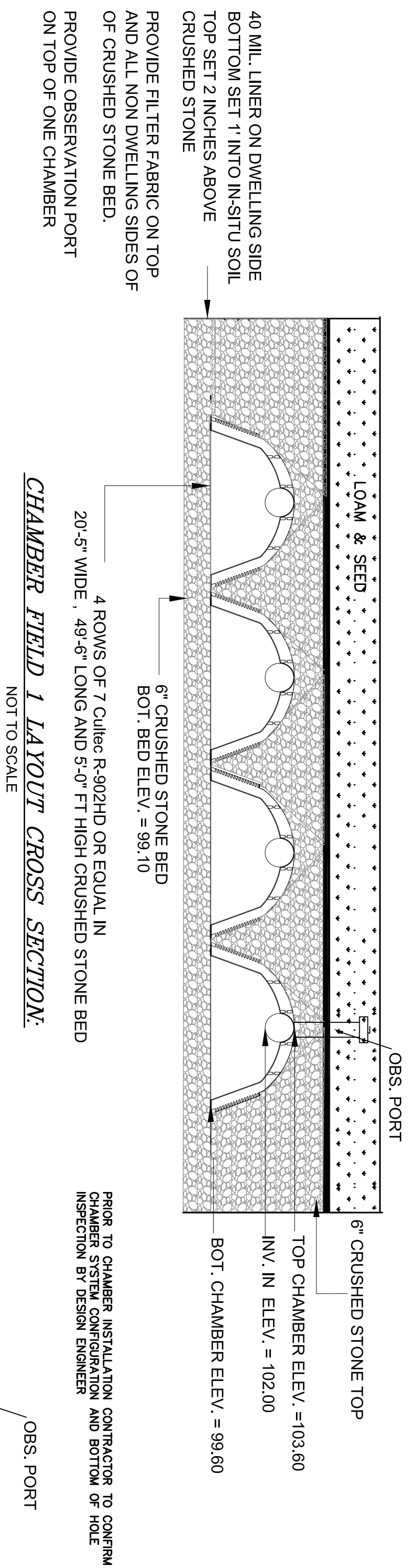
FIELD: LILIPS

APPROVED: M. D. CASEY

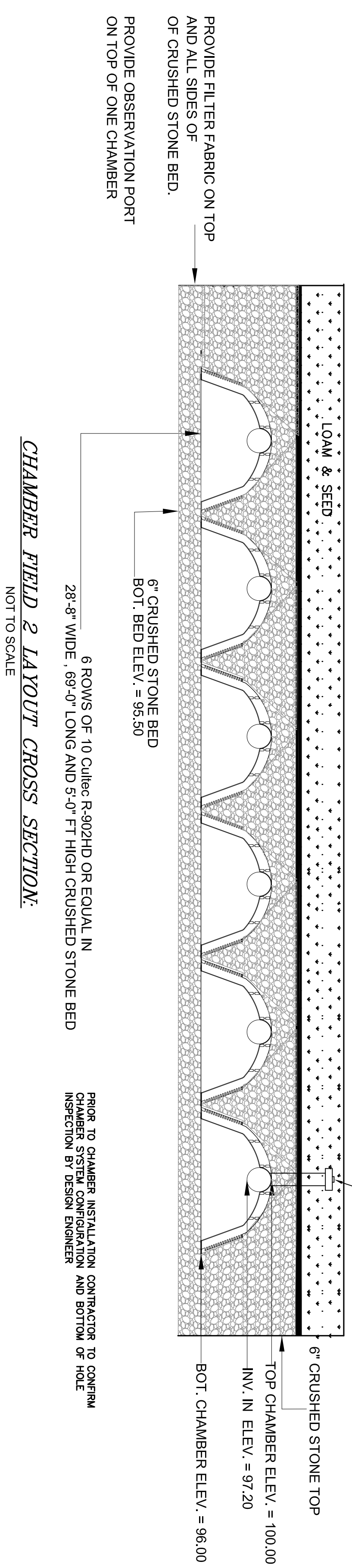
DWG. NO. 1908 DET3

SHEET 12 OF 16

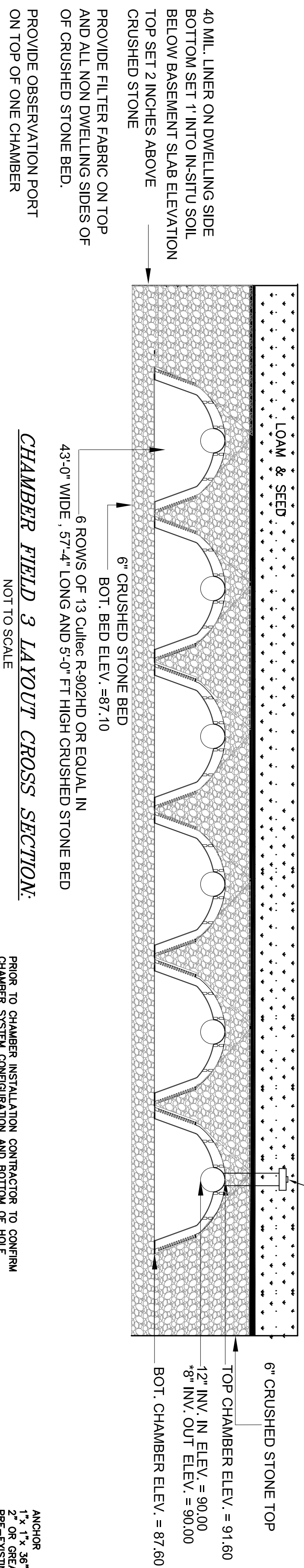
PRIOR TO CHAMBER INSTALLATION CONTRACTOR TO CONFIRM CHAMBER SYSTEM CONFIGURATION AND BOTTOM OF HOLE INSPECTION BY DESIGN ENGINEER



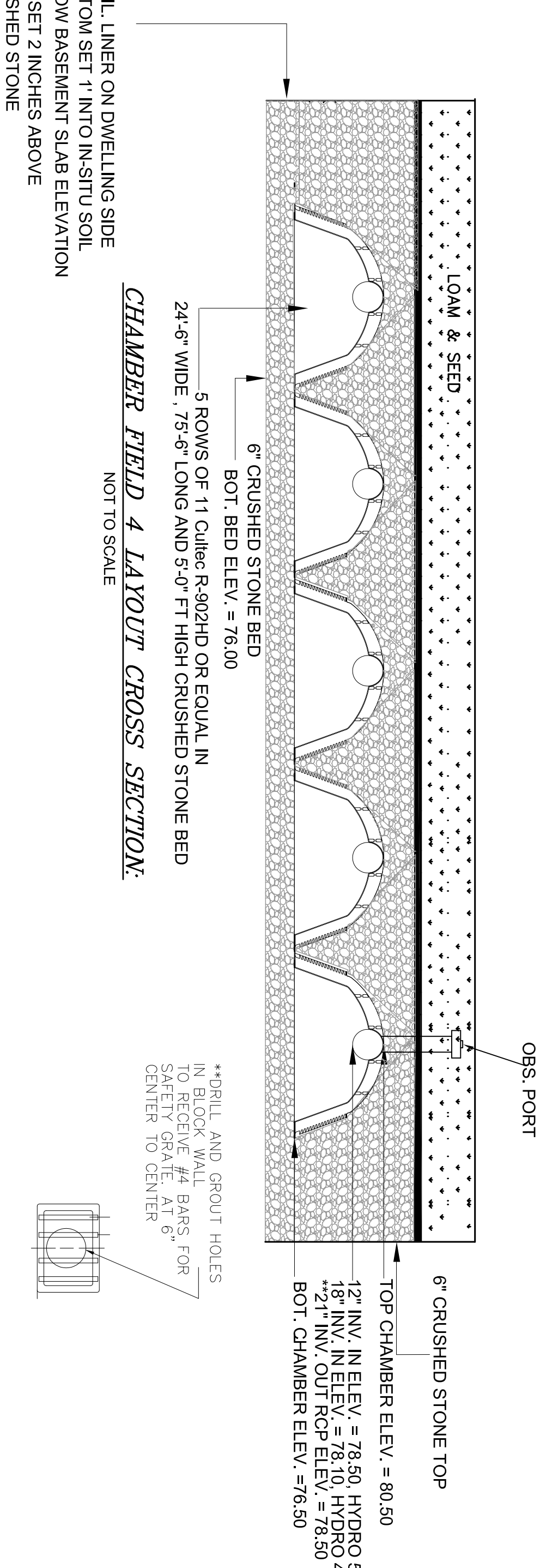
CHAMBER FIELD 1 LAYOUT CROSS SECTION:
NOT TO SCALE



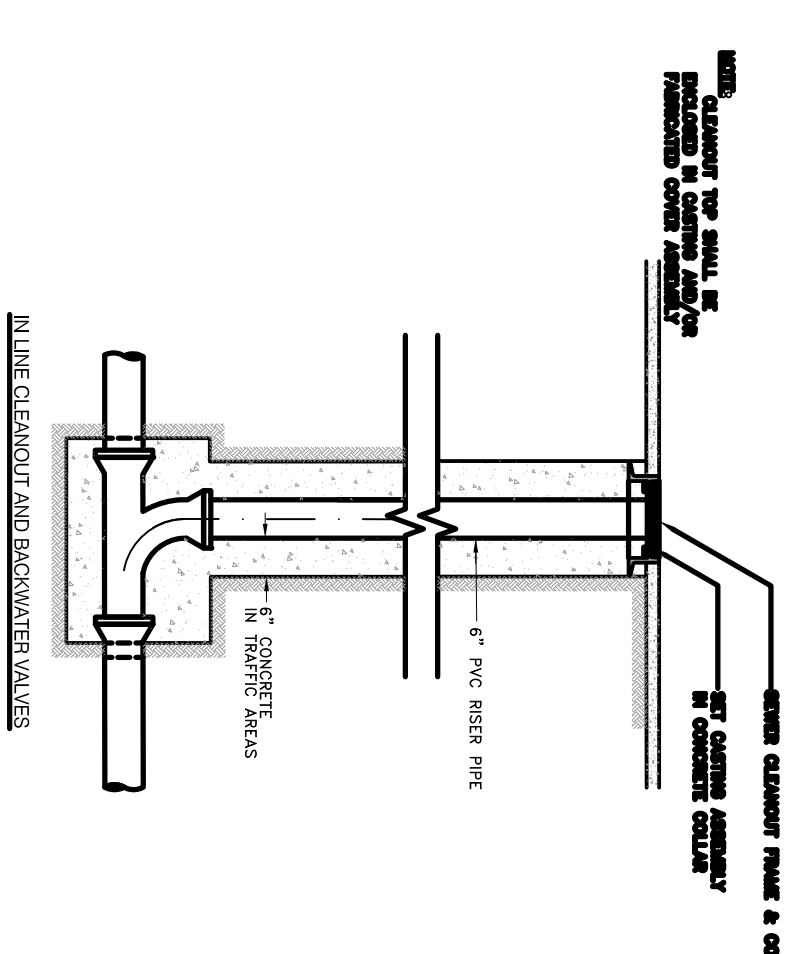
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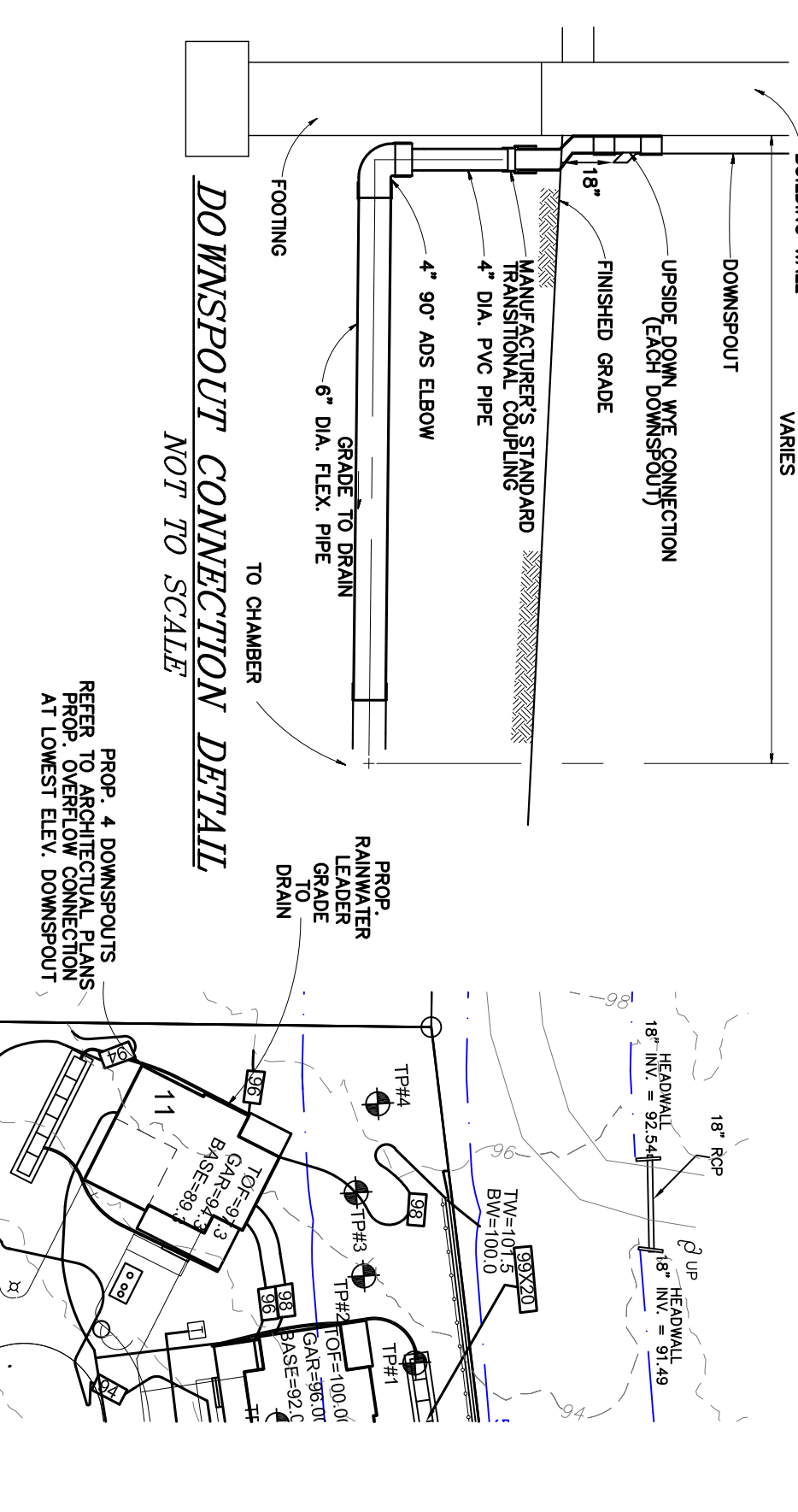
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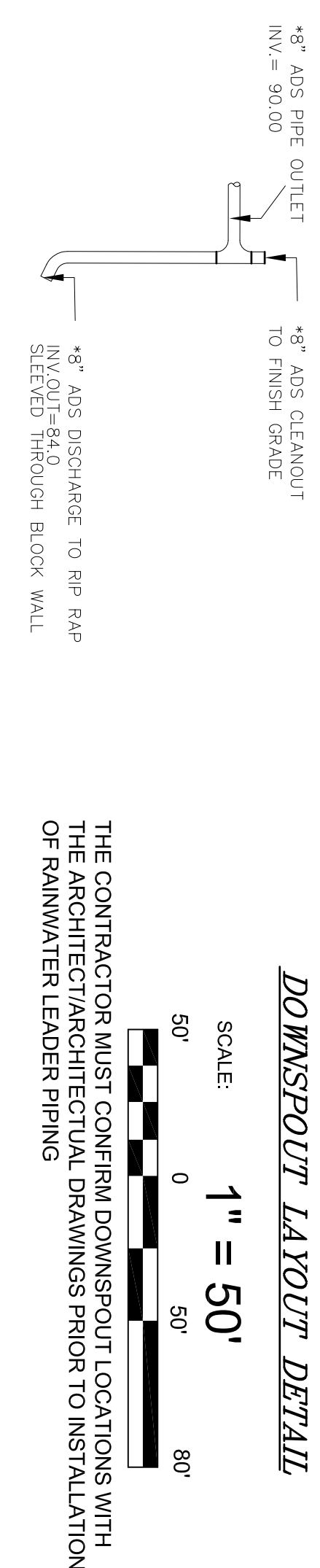
CHAMBER FIELD 4 LAYOUT CROSS SECTION:
NOT TO SCALE



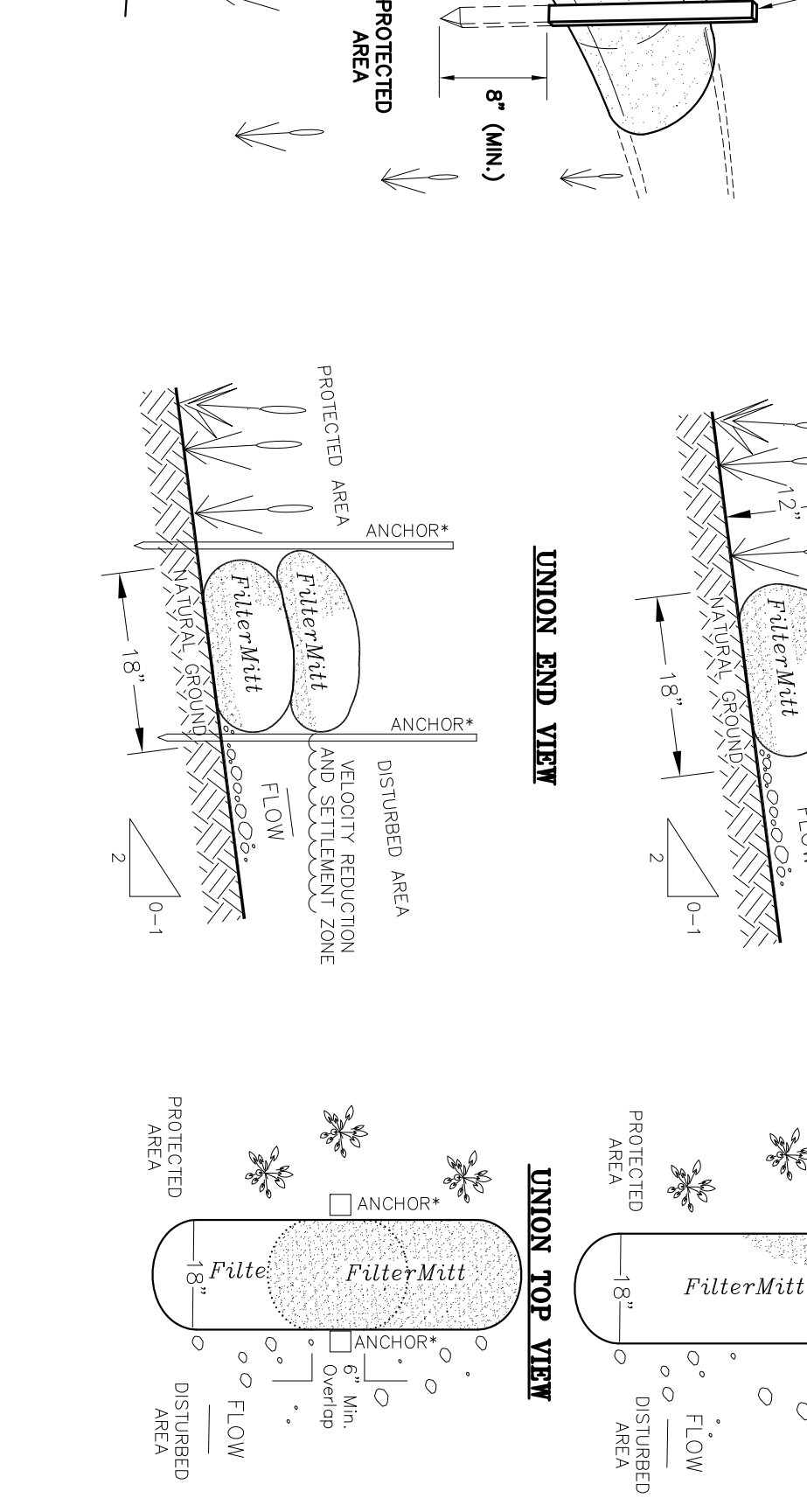
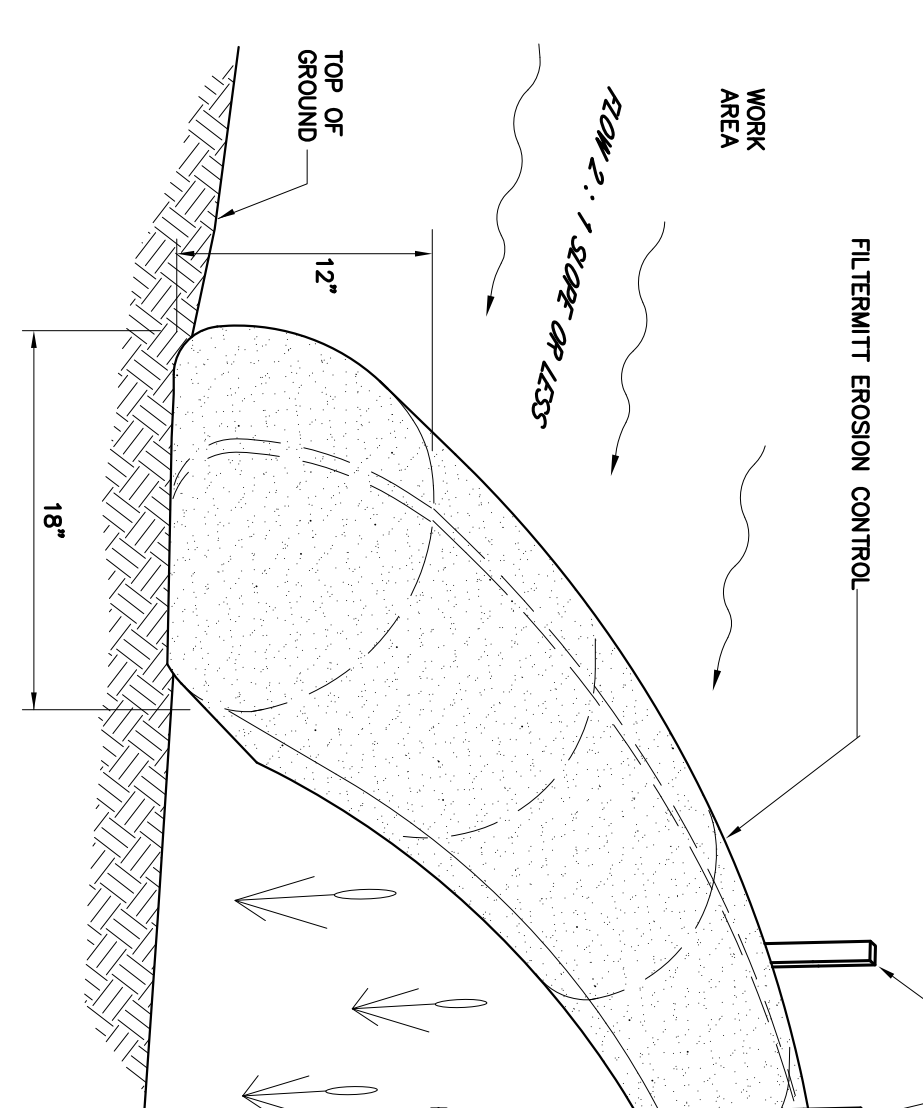
ROOF LEADER BACKFLOW PREVENTER DETAIL
TO BE PROVIDED AT CONNECTIONS OF ROOF LEADERS TO STREET DRAINAGE SYSTEMS



DOWNSPOUT LAYOUT DETAIL
SCALE: 1" = 50'



DOWNSPOUT CONNECTION DETAIL
NOT TO SCALE



SECTION END VIEW
DISTURBED AREA
PROTECTED AREA
FLOW
VELOCITY REDUCTION AND SETTLEMENT ZONE
ANCHOR*

UNION END VIEW
DISTURBED AREA
PROTECTED AREA
FLOW
VELOCITY REDUCTION AND SETTLEMENT ZONE
ANCHOR*

UNION TOP VIEW
DISTURBED AREA
PROTECTED AREA
FLOW
VELOCITY REDUCTION AND SETTLEMENT ZONE
ANCHOR*

40 MIL. LINER ON DWELLING SIDE BOTTOM SET 1 INTO IN-SITU SOIL BELOW BASEMENT SLAB ELEVATION TOP SET 2 INCHES ABOVE CRUSHED STONE

PROVIDE FILTER FABRIC ON TOP AND ALL NON DWELLING SIDES OF CRUSHED STONE BED.

PROVIDE OBSERVATION PORT ON TOP OF ONE CHAMBER

40 MIL. LINER ON DWELLING SIDE BOTTOM SET 1 INTO IN-SITU SOIL BELOW BASEMENT SLAB ELEVATION TOP SET 2 INCHES ABOVE CRUSHED STONE

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PROVIDE FILTER FABRIC ON TOP AND ALL NON DWELLING SIDES OF CRUSHED STONE BED.

PROVIDE OBSERVATION PORT ON TOP OF ONE CHAMBER

FILTERMITT COMPONENTS:

- 100% organic fiber, FIBER MITT, RainShield, Mulch.
- A blend of coarse and fine compost and shredded wood.
- 12" x 18" x 3/8" OAK STAKE
- 2" OR 4" OR OTHER TREE OTHER PRE-EXISTING, ANCHORED OBJECT.

FILTERMITT INSTALLATION:

With the correct methodology and equipment, sections can be constructed on site in lengths from 1' to 100'.

Sections can also be delivered to the site in lengths from 1' to 8'.

The flexibility of FilterMitt allows it to conform to any contour or terrain while holding a slightly oval shape at 12" high by 18" wide.

Where section ends meet, there shall be an overlap of 6" or greater. Both sides shall be anchored (oak stakes, trees, etc.) to stabilize the union.

FILTERMITT EROSION CONTROL BARRIER DETAIL
NOT TO SCALE

| REVISIONS: | No. | DESCRIPTION | DATE |
|------------|-----|----------------------|--------|
| | 1. | REV. FOR 3/8/23 MTG. | 3/2/23 |

PROJECT TITLE:

COMMONWEALTH OF MASSACHUSETTS
 REGISTERED PROFESSIONAL ENGINEER
 AERONTO ESPRIMO
 CIVIL
 No. 39392
 REGISTERED PROFESSIONAL LAND SURVEYOR
 AERONTO ESPRIMO
 No. 10000
 3/2/2023

THE COTTAGES AT OLD OAKEN BUCKET AT #279-281 OLD OAKEN BUCKET ROAD SCITUATE, MA

CONSTRUCTION DETAILS 4 PLAN

PREPARED FOR:
 PARCEL 41-1-3-D
 PARCEL 41-1-3-0

PREPARED BY:
South Shore Surveyors, Inc.
 REGISTERED LAND SURVEYORS & CIVIL ENGINEERS
 167 R SUMMER STREET
 KINGSTON, MA 02364
 781-582-2185
 mark@sssurveyors.net

PREPARED FOR:
LOVEDALE, LLC
S/O SALT MEADOW DEVELOPMENT
 107 EAST STREET
 DUXBURY, MA 02332

SCALE: 1" = 50'

DATE: FEBRUARY 16, 2023
 COMP/DESIGN: A. ESPOSITO
 CHECK: M. D. CASEY
 DRAWING: A. ESPOSITO
 FIELD: LILUPS

APPROVED: M. D. CASEY
 DWG. No. 1908 DET5

JOB No. 1908

SHEET 13 OF 16