

# PROPOSED GASOLINE FILLING STATION, CONVENIENCE STORE & RESTAURANT/FOOD SERVICE AT 48-52 NEW DRIFTWAY, SCITUATE MA

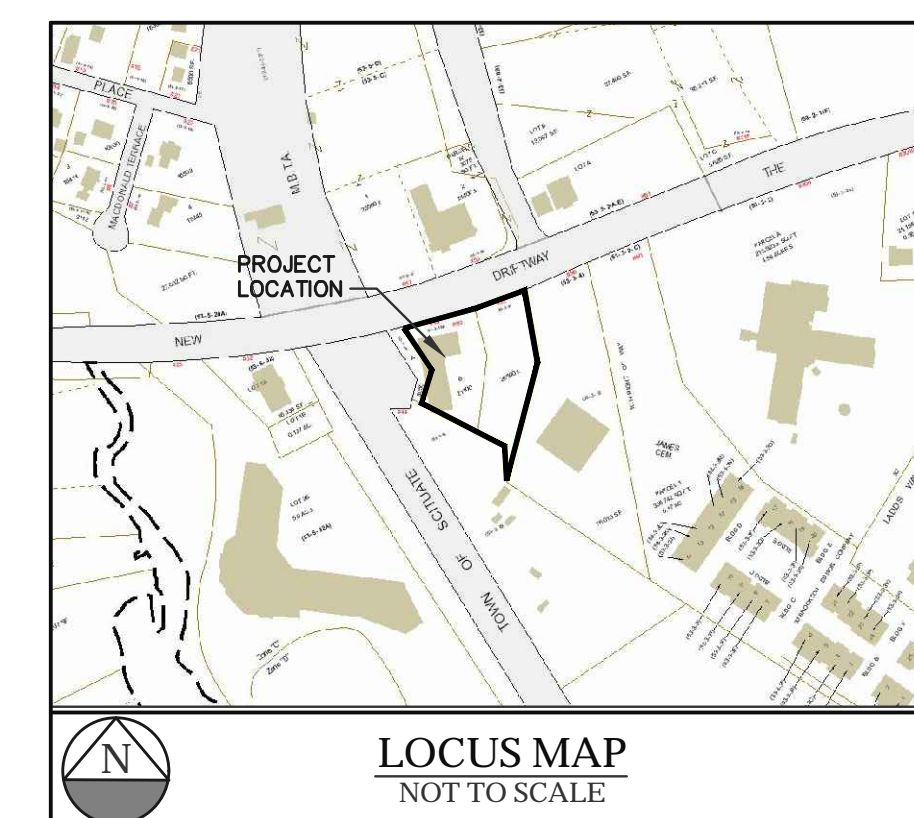


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### GENERAL NOTES

- ALL LANDSCAPING SHOWN ON PLANS SHALL CONFORM TO THE TOWN OF SCITUATE ZONING REGULATIONS.
- ALL SITE LIGHTING SHOWN ON PLANS SHALL BE DIRECTED ONTO SITE AND CONFORM TO THE APPLICABLE TOWN OF SCITUATE ZONING REGULATIONS.
- SITE IMPROVEMENTS DEPICTED ON THESE PLANS SHALL CONFORM TO THE AMERICANS WITH DISABILITIES ACT WITH REGARD TO DIMENSIONS AND GRADE AND NUMBER OF SPACES.
- THE LOCATION OF EXISTING UNDERGROUND UTILITIES (ELECTRIC, GAS, TELEPHONE, WATER AND SEWER) SHOWN ON THESE PLANS IS APPROXIMATE AND WERE OBTAINED FROM VARIOUS SOURCES OF INFORMATION. PRIOR TO ANY EXCAVATION ON THIS SITE, THE EXCAVATING CONTRACTOR SHALL MAKE THE REQUIRED 72 HOUR NOTIFICATION TO DIG SAFE (1-888-344-7233) AND ANY OTHER UTILITIES WHICH MAY HAVE CABLE, PIPE OR EQUIPMENT IN THE CONSTRUCTION AREA FOR VERIFICATION OF LOCATIONS.
- THE LOCATION OF EXISTING UTILITIES, GRADING AND PROPERTY LINE INFORMATION ARE TAKEN FROM A PLAN ENTITLED, "ALTA/NSPS LAND TITLE SURVEY 48& 52 NEW DRIFTWAY ASSESSORS PARCEL ID: 53-3-9 & 10 SCITUATE MASSACHUSETTS", PREPARED BY FARLAND CORP., 401 COUNTY STREET, NEW BEDFORD, MA 02740, DATED APRIL 17, 2018, SCALE 1"=20'.
- IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO OBTAIN ANY AND ALL PERMITS REQUIRED BY THE STATE OF MASSACHUSETTS AND THE TOWN OF SCITUATE PRIOR TO COMMENCING ANY WORK.
- PRIOR TO ANY EXCAVATION ON THIS SITE, THE EXCAVATING CONTRACTOR SHALL MAKE THE REQUIRED 72 HOUR NOTIFICATION TO DIG SAFE (1-888-344-7233) AND ANY OTHER UTILITIES WHICH MAY HAVE CABLE, PIPE OR EQUIPMENT IN THE CONSTRUCTION AREA FOR VERIFICATION OF LOCATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO REVIEW THE CONSTRUCTION DRAWING AND TO NOTIFY THE ENGINEER WITH ANY DISCREPANCY BETWEEN THE PROPOSED WORK SHOWN ON THESE PLANS AND THE REQUIREMENTS OF LOCAL AND STATE CODES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SECURITY AND JOB SAFETY ON THE SITE. THE CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH "OSHA" AND THE LOCAL MUNICIPALITY CONSTRUCTION STANDARDS.
- ALL SIGNAGE SHALL CONFORM TO APPLICABLE TOWN OF SCITUATE ZONING REGULATIONS WITH ALL PERMITS SECURED PRIOR TO INSTALLATION.
- THE CONTRACTOR SHALL PROVIDE ALL MATERIALS, LABOR, SUPERVISION, TOOLS, EQUIPMENT, FUEL, POWER, SANITARY FACILITIES AND INCIDENTALS NECESSARY FOR THE FURNISHING, PERFORMANCE TESTING, START-UP AND COMPLETION OF THIS WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO DISPOSE OF ANY UNSUITABLE OR SURPLUS MATERIALS PROPERLY OF SITE IN ACCORDANCE WITH LOCAL AND STATE ENVIRONMENTAL CODES.
- ALL EXISTING UTILITIES WATER, GAS, DRAINS, & ELECTRIC SHALL BE PROPERLY PROTECTED AND MAINTAINED DURING THE CONSTRUCTION PERIOD. ANY DEVIATION FROM THE CONTENT OF THESE PLANS WITHOUT WRITTEN CONSENT OF THIS ENGINEER WOULD MAKE IT NULL AND VOID.
- PROPOSED BUILDING IS A SLAB ON GRADE WITH NO BASEMENT.
- IN CASE OF A CONFLICT BETWEEN THE PROPOSED WORK SHOWN ON THIS PLAN AND THE APPLICABLE LOCAL AND STATE CODES, THE APPLICABLE CODES SHALL GOVERN.
- THE CONTRACTOR SHALL SHORE, BRACE, SHEET PILE OR OTHERWISE SUPPORT THE EXISTING UTILITIES AND STREETS NEXT TO THE PROPOSED WORK.
- ALL CONSTRUCTION MATERIAL, COMPONENTS, AND METHODS EMPLOYED ON THIS PROJECT WORK SHALL CONFORM TO THE TOWN OF SCITUATE OR THE MASS DOT FOR BRIDGES AND HIGHWAYS AS AMENDED TO PRESENT.
- DESIGN LOADING FOR ALL PRE-CAST UNITS TO BE AASHTO-H20 UNLESS OTHERWISE NOTED.
- RESTORE ALL DISTURBED AREAS BEYOND PROJECT LIMITS AND 6" LOAM AND SEED ALL AREAS NOT PAVED.
- COORDINATE UTILITY INSTALLATION WITH APPROPRIATE VENDORS.
- ALL OUTSIDE MECHANICAL APPURTENANCES TO BE PLACED ON CONCRETE UTILITY PADS AND SCREENED WITH FINISH TO MATCH BUILDING.
- ROOF DRAIN TIE-INS AND DRAIN LINES SHALL BE INSPECTED PRIOR TO BACKFILLING AND PAVING.
- 6" LOAM AND SEED ALL DISTURBED AREAS NOT PAVED.
- THE CONTRACTOR SHALL MAINTAIN EXCAVATION IN DRY CONDITIONS.



### SITE PLAN REVIEW SET

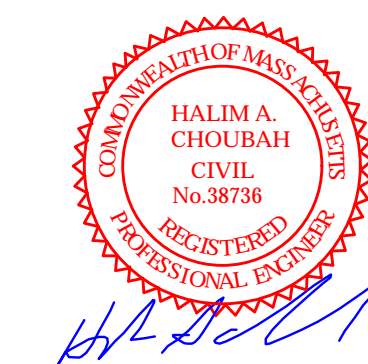
Prepared For:  
**PETRO REALTY, CORP**  
**4 NORTH STREET**  
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### PREPARED BY:

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JUNE 23, 2020  
 REVISED JULY 24, 2020  
 PROJECT N° 20-571



SYMBOL	DESCRIPTION
	EXIST. CONTOUR
	PROP. CONTOUR
	EXIST. SPOT GRADE
	PROP. SPOT GRADE
	PROPERTY LINE
	EASEMENT LINE
	SETBACK LINE
	EXIST. DRAIN
	PROP. DRAIN
	EXIST. SEWER LINE
	PROP. SEWER LINE
	EXIST. WATER LINE
	PROP. WATER LINE
	EXIST. ELECTRIC LINE
	PROP. ELECTRIC LINE
	EXIST. GAS LINE
	PROP. GAS LINE
	EXIST. CABLE TV LINE
	PROP. CABLE TV LINE
	EXIST. TELEPHONE LINE
	PROP. TELEPHONE LINE
	EXIST. OVERHEAD WIRE
	PROP. OVERHEAD WIRE
	PROP. SUPER GAS LINE
	PROP. REGULAR GAS LINE
	PROP. DIESEL GAS LINE
	EXIST. CATCH BASIN
	PROP. CATCH BASIN
	EXIST. DRAIN MANHOLE
	PROP. DRAIN MANHOLE
	EXIST. SEWER MANHOLE
	PROP. SEWER MANHOLE
	EXIST. ELECTRIC MANHOLE
	PROP. ELECTRIC MANHOLE
	EXIST. TELEPHONE MANHOLE
	PROP. TELEPHONE MANHOLE
	EXIST. UTILITY POLE
	PROP. UTILITY POLE
	EXIST. LIGHT BOLLARD
	PROP. LIGHT BOLLARD

SYMBOL	DESCRIPTION
	HAYBALES/LIMIT OF DISTURBANCE
	EXIST. GAS PUMP
	HANDICAP RAMP
	TREE
	FIELD STONE WALL
	EXIST. RETAINING WALL
	PROP. RETAINING WALL
	EDGE OF TREES/ WOODED AREA
	PROP. SILT FENCE
	EXIST. FENCE
	PROP. FENCE
	PROBE LOCATION
	BORING LOCATION
	EXIST. PAVED WATERWAY
	PROP. PAVED WATERWAY
	EXIST. EDGE OF PAVEMENT
	PROP. EDGE OF PAVEMENT
	CUT & MATCH PAVEMENT
	EXIST. GUARDRAIL
	PROP. GUARDRAIL
	EXIST. SIGN
	PROP. SIGN
	EXIST. STREET BOUND
	PROP. STREET BOUND
	EXIST. CONCRETE BOUND
	PROP. CONCRETE BOUND
	MASS. HIGHWAY BOUND
	12" WHITE STOP LINE
	REINFORCED CONCRETE PIPE
	CAST IRON
	GATE VALVE OR CURB STOP
	PROP. HYDRANT
	TEST PIT
	EXIST. LIGHT POLE
	PROP. LIGHT POLE
	PROP. DBL LIGHT POLE
	EXIST. GAS VALVE
	EXIST. WATER VALVE
	PROP. CROSSWALK

**EROSION CONTROL AND SOIL STABILIZATION PROGRAM:**

1. THE SITE CONTRACTOR IS RESPONSIBLE FOR ESTABLISHING AND MAINTAINING SUITABLE EROSION AND SEDIMENTATION CONTROL DEVICES ON SITE DURING CONSTRUCTION AS REQUIRED TO PREVENT SILT FROM LEAVING THE SITE. SILT WILL NOT BE ALLOWED BEYOND CONSTRUCTION LIMITS. ADDITIONAL PROTECTION: ON-SITE PROTECTION MUST BE PROVIDED THAT WILL NOT PERMIT SILT TO LEAVE THE PROJECT CONFINES DUE TO UNFORSEEN CONDITIONS OR ACCIDENTS.
2. EROSION CONTROL MEASURES SHALL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLANS DOES NOT PROVIDE SUFFICIENT EROSION AND SEDIMENT CONTROL, ADDITIONAL CONTROL MEASURES SHALL BE IMPLEMENTED. CONTRACTOR IS RESPONSIBLE FOR PREPARING OR REPLACING EROSION CONTROL DEVICES WHICH BECOME INEFFECTIVE.
3. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR ALL GRADING AND OTHER LAND DISTURBING ACTIVITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR CLEANUP AND REMOVAL OF ANY BUILDUP OF SEDIMENTS WHICH ESCAPES FROM THE SITE.
4. THE CONTRACTOR IS RESPONSIBLE FOR CLEANING SILT AND DEBRIS OUT OF ALL STORM DRAINAGE STRUCTURES UPON THE COMPLETION OF CONSTRUCTION.
5. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL TEMPORARY EROSION CONTROL MEASURES AFTER CONSTRUCTION IS COMPLETE AND ALL DISTURBED AREAS HAVE BEEN STABILIZED
6. THE CONTRACTOR IS RESPONSIBLE FOR ALL COST ASSOCIATED WITH ANY FINES LEVIED AGAINST THE SITE FOR VIOLATIONS OF EROSION CONTROL REGULATIONS.
7. THE CONTRACTOR SHALL PROVIDE TEMPORARY GROUND COVER FOR ALL AREAS WITH EXPOSED SOIL WHICH WILL NOT BE DISTURBED BY GRADING OPERATIONS FOR A PERIOD OF THIRTY DAYS OR MORE.
8. IF WORK ON THIS PROJECT IS SUSPENDED FOR ANY REASON, THE CONTRACTOR SHALL MAINTAIN THE SOIL EROSION AND SEDIMENTATION CONTROL FACILITIES IN GOOD CONDITION DURING THE SUSPENSION OF WORK.
9. SPRINKLER OR APPLY DUST SUPPRESSERS TO KEEP DUST WITHIN TOLERABLE LIMITS AT THE CONSTRUCTION SITE.

**NOTES:**

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SECURITY AND JOB SAFETY ON THE SITE. THE CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH "OSHA" AND THE LOCAL MUNICIPALITY CONSTRUCTION STANDARDS.
2. ALL EXISTING UTILITIES WATER, GAS, DRAINS, & ELECTRIC SHALL BE PROPERLY PROTECTED AND MAINTAINED DURING THE CONSTRUCTION PERIOD.
3. THERE WILL BE MINIMAL CHANGES IN GRADE FROM PROPOSED MODIFICATIONS SHOWN ON THIS SITE PLAN.

**DUST CONTROL**

1. WIND-BORNE DUST FROM EXPOSED SOIL SURFACES DURING LAND DISTURBING/CONSTRUCTION ACTIVITIES SHALL BE CONTROLLED WITH FREQUENT WATER IRRIGATION APPLICATIONS AND/OR CALCIUM CHLORIDE. CALCIUM CHLORIDE SHALL BE APPLIED WITH A MECHANICAL SPREADER IN STRICT ACCORDANCE WITH THE SUPPLIER'S SPECIFIED RATES.
2. INSTALL CATCH BASIN SILT SOCKS IN EXISTING CATCH BASINS ON NEW DRIFTWAY DOWN STREAM FROM PROJECT AREA PRIOR TO DEMOLITION/CONSTRUCTION.

**GENERAL NOTES**

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2. ALL SITE LIGHTING SHOWN ON PLANS SHALL BE DIRECTED ONTO SITE AND CONFORM TO THE APPLICABLE TOWN OF SCITUATE ZONING REGULATIONS.
3. SITE IMPROVEMENTS DEPICTED ON THESE PLANS SHALL CONFORM TO THE AMERICANS WITH DISABILITIES ACT WITH REGARD TO DIMENSIONS AND GRADE AND NUMBER OF SPACES.
4. THE LOCATION OF EXISTING UNDERGROUND UTILITIES (ELECTRIC, GAS, TELEPHONE, WATER AND SEWER) SHOWN ON THESE PLANS IS APPROXIMATE AND WERE OBTAINED FROM VARIOUS SOURCES OF INFORMATION. PRIOR TO ANY EXCAVATION ON THIS SITE, THE EXCAVATING CONTRACTOR SHALL MAKE THE REQUIRED 72 HOUR NOTIFICATION TO DIG SAFE (1-888-344-7233) AND ANY OTHER UTILITIES WHICH MAY HAVE CABLE, PIPE OR EQUIPMENT IN THE CONSTRUCTION AREA FOR VERIFICATION OF LOCATIONS.
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**DEMOLITION NOTES:**

1. ALL DEMOLITION WORK SHALL BE PERFORMED IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS.
2. SECURE REQUIRED DEMOLITION PERMITS.
3. ARRANGE WITH OWNER AND/OR APPROPRIATE UTILITIES FOR SERVICE SHUTOFFS BEFORE BEGINNING DEMOLITION OPERATION.
4. RELOCATE ALL EXISTING ACTIVE GAS, WATER, VENTILATION, DRAIN, ELECTRIC AND OTHER UTILITY LINES AS REQUIRED FOR NEW CONSTRUCTION.
5. TAKE SPECIAL CARE TO CONTROL DUST AND NOISE TO AVOID DISTURBING NEARLY PERSONS OR PROPERTY.
6. GENERAL CONTRACTOR, DEMO CONTRACTOR RESPONSIBLE FOR REMOVAL OF ALL ABOVE GRADE AND BELOW GRADE BUILDING MATERIALS, PIPES, CONDUITS, STUMPS, AND DEBRIS FROM SITE AND DISPOSE OF PER REGULATION REQUIREMENTS AND CONTRACT.
7. DEMO CONTRACTOR TO INCUR ALL COST RELATING TO EXISTING CURB CUT, SIDEWALK, PROTECTED AREAS. DAMAGE IF REPLACEMENT IS REQUIRED.
8. AMPLE EQUIPMENT & MANPOWER ON SITE TO COMPLETE TASK IN TIME AGREED.
9. PROVIDE RODENT CONTROL PER HEALTH DEPARTMENT.

**DURING ALL PHASES OF PROJECT DEMO/BACKFILL & CONTINUED WORK:**

1. TIME FRAME SCHEDULE ARE TO BE LISTED, SIGNED AND ADHERED TO ALL TIMES.
2. EXCAVATED AREA IS PER OSHA REQUIREMENTS, BASED ON SOIL TYPE.
3. CONTACT PERSON LIST WITH EMERGENCY NUMBER TO BE POSTED ON SITE AT ALL TIMES.
4. WELDING/TORCHING WILL BE PERMITTED UNDER CONTROLLED CONDITIONS ONLY.
5. CONTRACTOR SHALL PROVIDE SAFE WORKING CONDITIONS ON SITE. WORK AREA SHOULD BE DEFINED TO KEEP GENERAL PUBLIC OUT OF WORK AREA.
6. CLEAN UP WITHOUT BURNING, NO EXCEPTIONS
7. BEFORE, DURING AND AFTER DEMO WORK, CARE SHALL BE TAKEN TO PROTECT THE ADJOINING PROPERTIES FROM EXPOSED OR ERODING EMBANKMENT. STOCKPILE OF HAY BALES TO BE ON SITE TO PROTECT IN EVENT OF SAME. IMPLEMENT AS NEEDED.
8. DURING BACKFILL, ALL CONSTRUCTION MATERIAL IS TO BE REMOVED ALONG WITH ORGANIC MATTER. EXCEPT TOPSOIL NEEDED FOR NEW LANDSCAPE AREA.
9. DEBRIS TO BE DISPOSED OF OR RECYCLED PROPERLY, PER ALL LOCAL AND STATE CODES.
10. SEDIMENTS & EROSION CONTROL DEVICES TO BE PLACED IN A MANNER TO PROVIDE SEQUENCE FOR TRAVEL AND PROVIDING ACCESS TO EXISTING FACILITY.

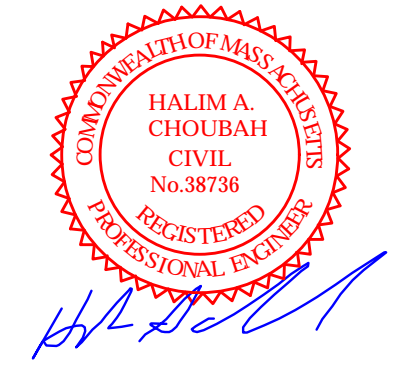
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12. THE CONTRACTOR SHALL BE RESPONSIBLE TO DISPOSE OF ANY UNSUITABLE OR SURPLUS MATERIALS PROPERLY OF SITE IN ACCORDANCE WITH LOCAL AND STATE ENVIRONMENTAL CODES.
13. ALL EXISTING UTILITIES WATER, GAS, DRAINS, & ELECTRIC SHALL BE PROPERLY PROTECTED AND MAINTAINED DURING THE CONSTRUCTION PERIOD. ANY DEVIATION FROM THE CONTENT OF THESE PLANS WITHOUT WRITTEN CONSENT OF THIS ENGINEER WOULD MAKE IT NULL AND VOID.
14. PROPOSED BUILDING IS A SLAB ON GRADE WITH NO BASEMENT.
15. IN CASE OF A CONFLICT BETWEEN THE PROPOSED WORK SHOWN ON THIS PLAN AND THE APPLICABLE LOCAL AND STATE CODES, THE APPLICABLE CODES SHALL GOVERN.
16. THE CONTRACTOR SHALL SHORE, BRACE, SHEET PILE OR OTHERWISE SUPPORT THE EXISTING UTILITIES AND STREETS NEXT TO THE PROPOSED WORK.
17. ALL CONSTRUCTION MATERIAL, COMPONENTS, AND METHODS EMPLOYED ON THIS PROJECT WORK SHALL CONFORM TO THE TOWN OF SCITUATE OR THE MASS DOT FOR BRIDGES AND HIGHWAYS AS AMENDED TO PRESENT.
18. DESIGN LOADING FOR ALL PRE-CAST UNITS TO BE AASHTO-H20 UNLESS OTHERWISE NOTED.
19. RESTORE ALL DISTURBED AREAS BEYOND PROJECT LIMITS AND 6" LOAM AND SEED ALL AREAS NOT PAVED.
20. COORDINATE UTILITY INSTALLATION WITH APPROPRIATE VENDORS.
21. ALL OUTSIDE MECHANICAL APPURTENANCES TO BE PLACED ON CONCRETE UTILITY PADS AND SCREENED WITH FINISH TO MATCH BUILDING.
22. ROOF DRAIN TIE-INS AND DRAIN LINES SHALL BE INSPECTED PRIOR TO BACKFILLING AND PAVING.
23. 6" LOAM AND SEED ALL DISTURBED AREAS NOT PAVED.
24. THE CONTRACTOR SHALL MAINTAIN EXCAVATION IN DRY CONDITIONS.

**SEQUENCE OF CONSTRUCTION & SOIL EXCAVATION MANAGEMENT PROCEDURES.**

1. INSTALL SOCK BALES AND SILT FENCE AROUND EXISTING STORMDRAIN STRUCTURES AND WITHIN THE LIMIT OF CONSTRUCTION AS SHOWN ON DEMOLITION AND SITE PLANS.
2. EXCAVATE FOR NEW BUILDING FOUNDATION, PUMPS AND CANOPY STRUCTURES, UNDER SUPERVISION OF THE PROJECT LICENSED SITE PROFESSIONAL (LSP) AND OR ITS DESIGNATED QUALIFIED REPRESENTATIVE.
3. ANY VISUALLY CONTAMINATED SOIL SHOULD BE REMOVED FROM EXCAVATION AND TEMPORARILY STORED OR DIRECTLY TRANSPORTED OFF-SITE TO AN APPROVED LOCATION.
4. EXCAVATED SOILS SHALL BE MANAGED IN ACCORDANCE WITH ALL OF THE APPLICABLE MASSACHUSETTS DEPARTMENT OF ENVIRONMENTAL PROTECTION RULES AND REGULATIONS.
5. ALL OFF-SITE SHIPMENT OF CONTAMINATED SOILS SHALL BE ACCOMPANIED BY A BILL OF LADING.
6. ANY STOCKPILED SOILS SHALL BE PLACED ON POLY AND SECURELY COVERED WITH POLY WITH HAYBALES AROUND STOCKPILES UNTIL PROPER DISPOSAL CAN OCCUR.

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Project:  
**PROPOSED GASOLINE FILLING STATION CONVENIENCE STORE & RESTAURANT/ FOOD SERVICE AT 48 & 52 NEW DRIFTWAY SCITUATE, MA**  
 Prepared For:  
**PETRO REALTY CORP. 4 NORTH STREET, HINGHAM, MA 02043**

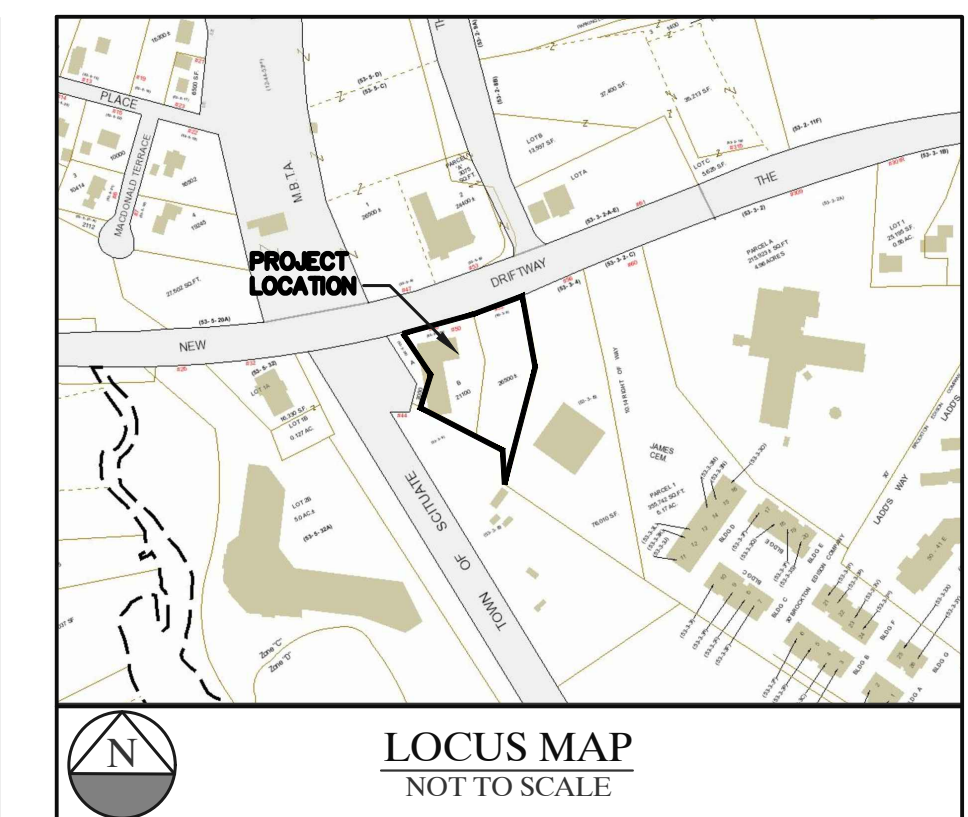


Issue Date: 06/23/2020

Revisions		
No.	Date	Description

Project Number: 20-571  
 Scale: AS SHOWN  
 Designed By: CMS  
 Drawn By: CMS | Checked By: HC  
 Sheet Title:  
**GENERAL NOTES & LEGEND**

48 & 52 NEW DRIFTWAY, SCITUATE, MA		
ZONING ANALYSIS TABLE		
VILLAGE CENTER AND NEIGHBORHOODS SUB-DISTRICT		
LOT STANDARDS		
ZONING CRITERIA	REQUIRED	EXISTING
MIN. LOT SIZE	NOT REQUIRED	47,718 S.F.
STREET FRONTAGE	100'	230.73'
LOT DEPTH	100'	240.8' +/-
FRONT YARD BUILD-TO-ZONE	5*	38.7'
SIDE YARD	20'	10.1'
MIN. REAR SETBACK	20'	8.7'
OUTDOOR AMENITY SPACE COVERAGE (MIN.)	10%	0%
DESIGN STANDARDS		
ZONING CRITERIA	REQUIRED	EXISTING
MAX. BLDG. HEIGHT	1.5 STORIES/24'	15' +/-
STREET FACING WALL WIDTH (MIN.)	40'	71.1'
STREET FACING WALL WIDTH (MAX.)	80'	71.1'
STREET FACING ENTRANCE	REQUIRED	YES
MAX. BUILDING FOOTPRINT	4,000 S.F.	6,460 S.F.
* 5'/20' (PRIMARY AND SECONDARY STREETS)		



**SITE DATA :**  
 ADDRESS: 48 & 52 NEW DRIFTWAY, SCITUATE, MA 02066

ZONING DISTRICT: VILLAGE CENTER AND NEIGHBORHOODS SUB DISTRICT

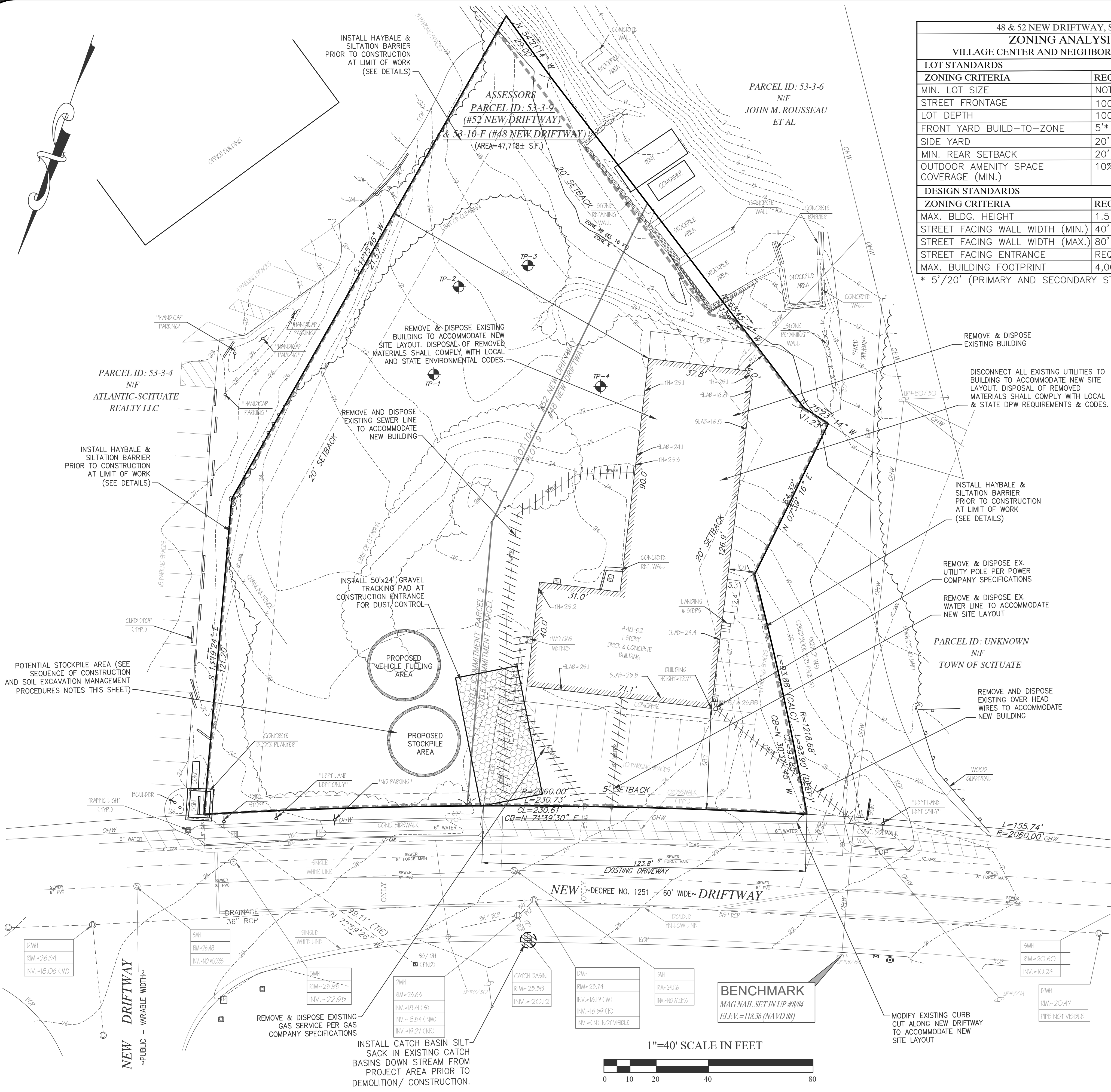
TOTAL AREA: 1.1± ACRES

OWNER ON RECORD:  
 SO SHORE AUTO PARTS CO  
 S/O NEW DRIFTWAY 4852 LLC  
 79 JERICHO RD  
 SCITUATE, MA 02066

EXISTING USE: EXISTING RETAIL BUILDING

LEGEND	
SYMBOL	DESCRIPTION
---	PROPERTY LINE
---	SETBACK LINE
□□□□	SOCK BALES
~~~~~	EDGE OF TREES/WOODED AREA
14140	EXIST. CONTOUR
---	EXIST. SPOT GRADE
---	EXIST. FENCE
---	EXIST. SEWER LINE
---	EXIST. WATER LINE
---	EXIST. ELECTRIC LINE
---	EXIST. GAS LINE
---	EXIST. DRAINAGE LINE
---	EXIST. OVERHEAD WIRE
CB	EXIST. CATCH BASIN
DMH	EXIST. DRAIN MANHOLE
EMH	EXIST. ELECTRIC MANHOLE
SMH	EXIST. SEWER MANHOLE
UP	EXIST. UTILITY POLE
LP	EXIST. LIGHT POLE
VGC	EXIST. VERTICAL GRANITE CURB
EP	EXIST. EDGE OF PAVEMENT
---	EXIST. SIGN
---	EXIST. GATE
---	EXIST. MONITORING WELL
HYD	EXIST. HYDRANT

- DEMOLITION NOTES**
- ALL DEMOLITION WORK SHALL BE PERFORMED IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS.
  - SECURE REQUIRED DEMOLITION PERMITS.
  - ARRANGE WITH OWNER AND/OR APPROPRIATE UTILITIES FOR SERVICE SHUTOFFS BEFORE BEGINNING DEMOLITION OPERATION.
  - RELOCATE ALL EXISTING ACTIVE GAS, WATER, VENTILATION, DRAIN, ELECTRIC AND OTHER UTILITY LINES AS REQUIRED FOR NEW CONSTRUCTION.
  - TAKE SPECIAL CARE TO CONTROL DUST AND NOISE TO AVOID DISTURBING NEARLY PERSONS OR PROPERTY.
  - GENERAL CONTRACTOR, DEMO CONTRACTOR RESPONSIBLE FOR REMOVAL OF ALL ABOVE GRADE AND BELOW GRADE BUILDING MATERIALS, PIPES, CONDUITS, STUMPS AND DEBRIS FROM SITE AND DISPOSED OF PER REGULATION REQUIREMENTS AND CONTRACT.
  - DEMO CONTRACTOR TO INCUR ALL COST RELATING TO EXISTING CURB CUT, SIDEWALK, PROTECTED AREAS. DAMAGE IF REPLACEMENT IS REQUIRED.
  - AMPLE EQUIPMENT & MANPOWER ON SITE TO COMPLETE TASK IN TIME AGREED.
  - PROVIDE RODENT CONTROL PER HEALTH DEPARTMENT.



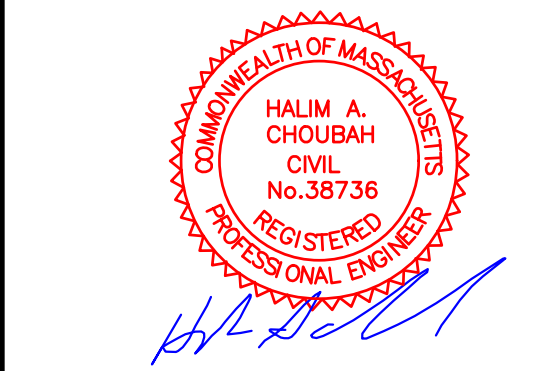
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Sheet Title:

**SITE PREPARATION & DEMOLITION PLAN**

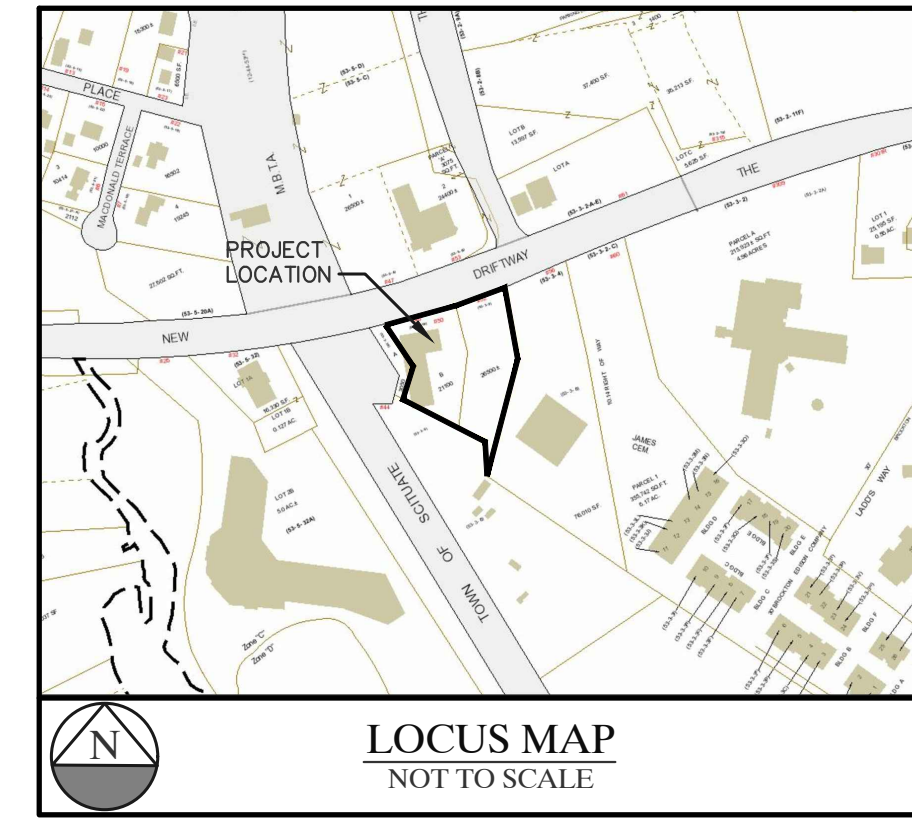
**SITE DATA :**  
 ADDRESS: 48 & 52 NEW DRIFTWAY,  
 SCITUATE, MA 02066

ZONING DISTRICT: VILLAGE CENTER AND  
 NEIGHBORHOODS SUB DISTRICT

TOTAL AREA: 1.1± ACRES

OWNER ON RECORD:  
 SO SHORE AUTO PARTS CO  
 S/O NEW DRIFTWAY 4852 LLC  
 79 JERICHO RD  
 SCITUATE, MA 02066

PROPOSED USE: GASOLINE FILLING STATION  
 WITH CONVENIENCE STORE &  
 RESTAURANT/FOOD SERVICE

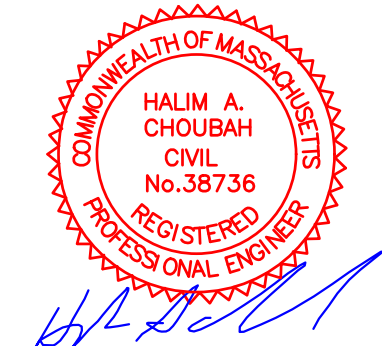


CHOUBAH ENGINEERING GROUP, P.C.  
**CEG**  
 CONSULTING PROFESSIONAL ENGINEERS

112 STATE ROAD (ROUTE 6),  
 No. DARTMOUTH, MA 02747  
 TEL: (508) 858-5040 FAX: (508) 858-5041  
 www.choubahgroup.com

Project:  
**PROPOSED GASOLINE  
 FILLING STATION  
 CONVENIENCE STORE  
 & RESTAURANT/FOOD  
 SERVICE AT  
 48 & 52 NEW DRIFTWAY  
 SCITUATE, MA**

Prepared For:  
**PETRO REALTY CORP.  
 4 NORTH STREET,  
 HINGHAM, MA 02043**



Issue Date: 06/23/2020

Revisions		
No.	Date	Description

Project Number: 20-571

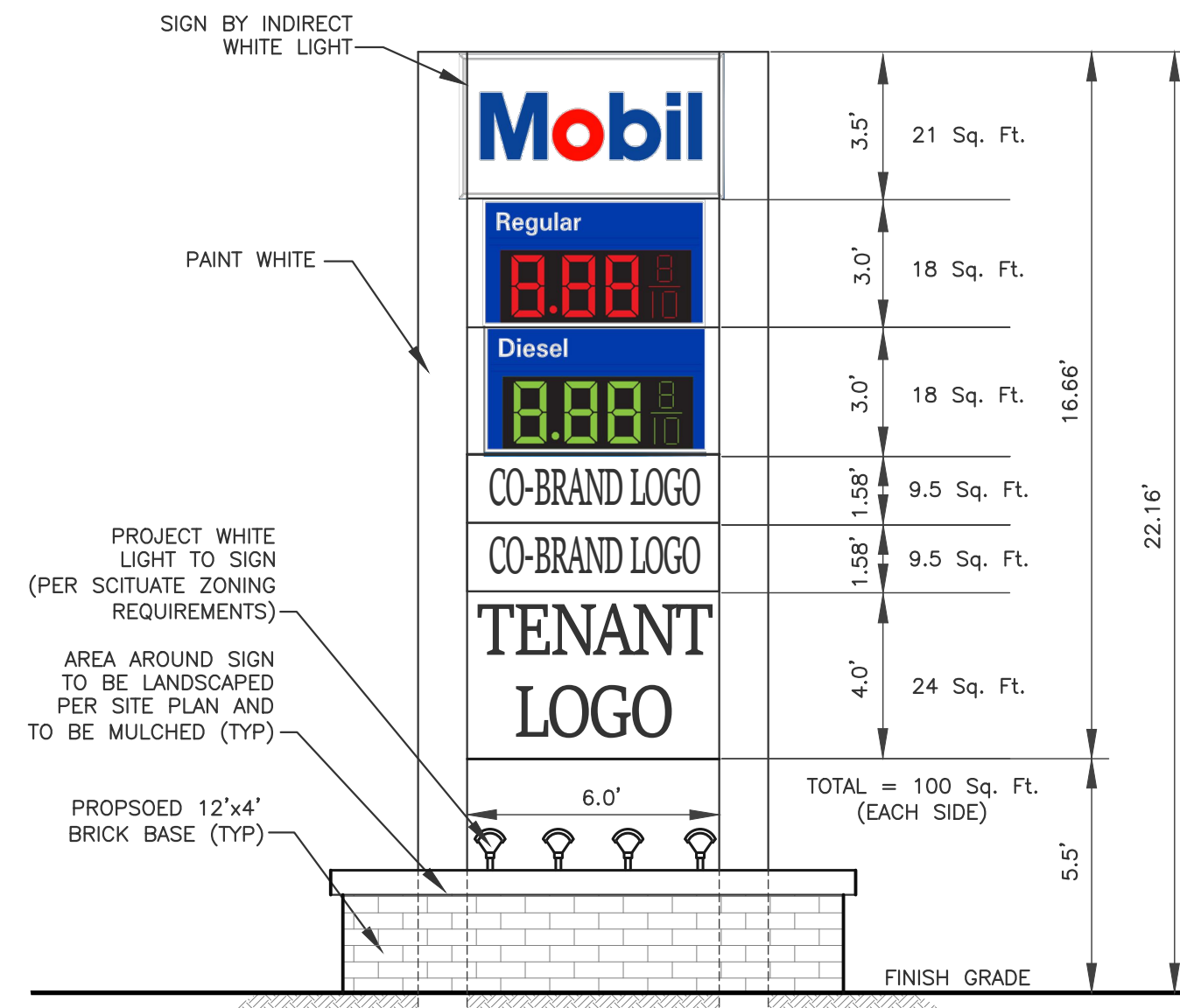
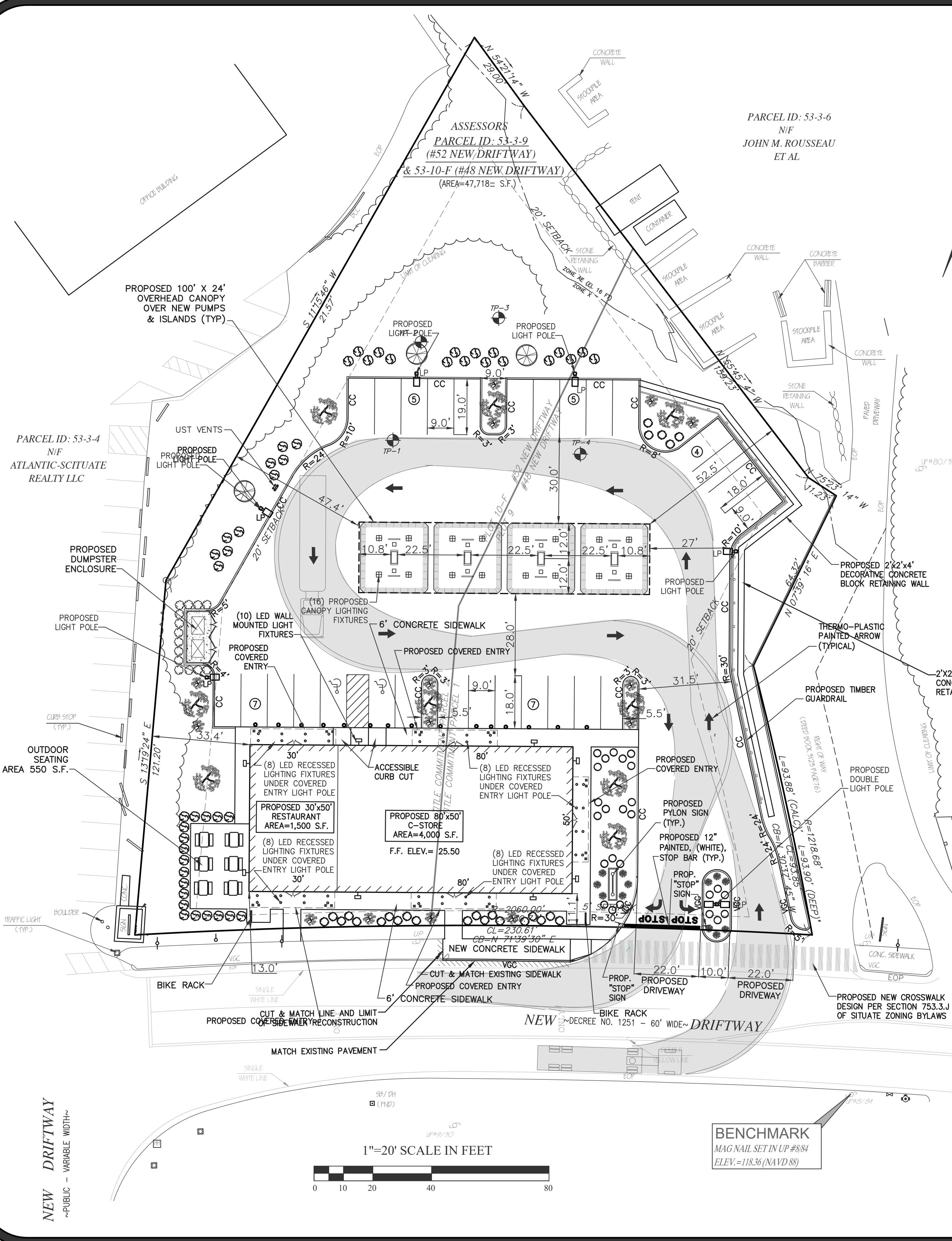
Scale: AS SHOWN

Designed By: CMS

Drawn By: CMS      Checked By: HC

Sheet Title:

**SITE LAYOUT & FUEL  
 TRUCK ACCESS PLAN**



**PYLON SIGN (TWO SIDED)**  
 SCALE: 1/4"=1'-0"

**PARKING DATA**

RETAIL OR SERVICE USES (C-STORE):  
 (1) SPACE PER TWO HUNDRED (200) SQUARE  
 FEET OF FLOOR AREA  
 PER SECTION 760.6 TABLE OF MINIMUM  
 REQUIREMENTS—TABLE 1

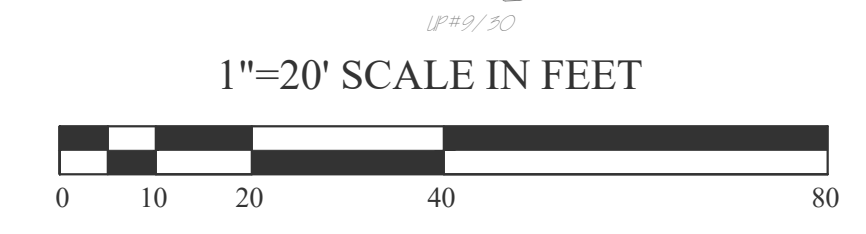
TOTAL AREA = 5,500 S.F./200	= 28 SPACES
<b>TOTAL PARKING REQUIRED:</b>	<b>= 28 SPACES</b>
<b>TOTAL PARKING PROVIDED:</b>	<b>= 28 SPACES</b>

48 & 52 NEW DRIFTWAY, SCITUATE, MA  
**ZONING ANALYSIS TABLE**  
 VILLAGE CENTER AND NEIGHBORHOODS SUB-DISTRICT

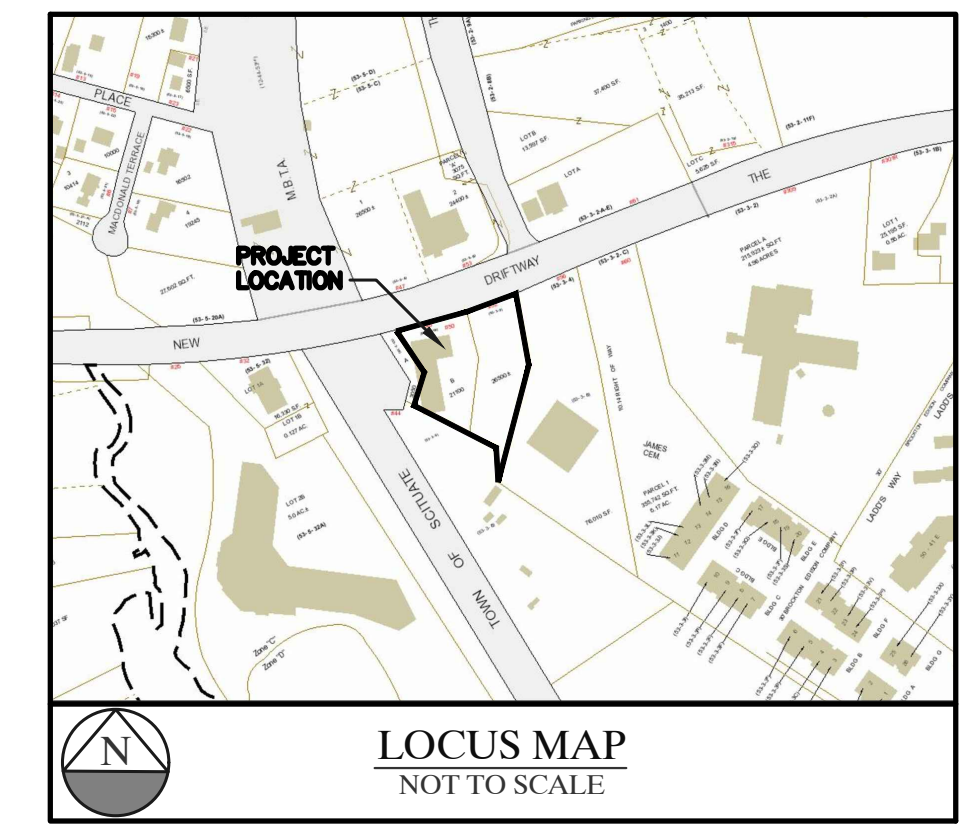
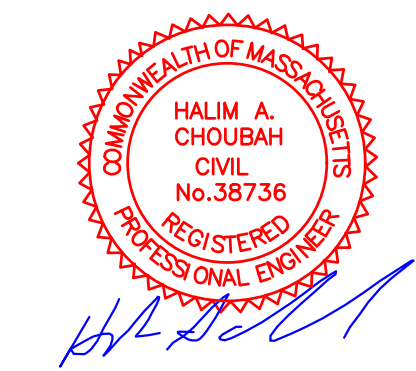
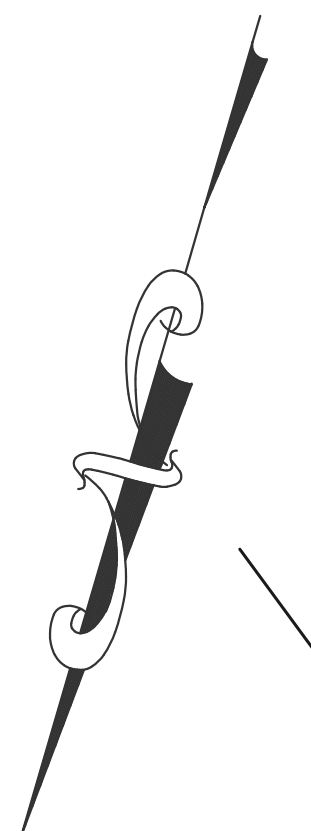
LOT STANDARDS	REQUIRED	EXISTING	PROPOSED
MIN. LOT SIZE	NOT REQUIRED	47,718 S.F.	47,718 S.F.
STREET FRONTAGE	100'	230.73'	230.73'
LOT DEPTH	100'	240.8' +/-	240.8' +/-
FRONT YARD BUILD-TO-ZONE	5'*	38.7'	11.1'
SIDE YARD	20'	10.1'	33.4'
MIN. REAR SETBACK	20'	8.7'	47.4'
OUTDOOR AMENITY SPACE COVERAGE (MIN.)	10%	0%	10%
DESIGN STANDARDS	REQUIRED	EXISTING	PROPOSED
MAX. BLDG. HEIGHT	1.5 STORIES/24'	15'+/-	24'
STREET FACING WALL WIDTH (MIN.)	40'	71.1'	110'
STREET FACING WALL WIDTH (MAX.)	80'	71.1'	110'
STREET FACING ENTRANCE	REQUIRED	YES	YES
MAX. BUILDING FOOTPRINT	4,000 S.F.	6,460 S.F.	5,500 S.F.

\* 5'/20' (PRIMARY AND SECONDARY STREETS)

**BENCHMARK**  
 MAG NAIL SET IN UP #884  
 ELEV.=118.36 (NAVD 88)



NEW DRIFTWAY  
 ~PUBLIC ~ VARIABLE WIDTH~



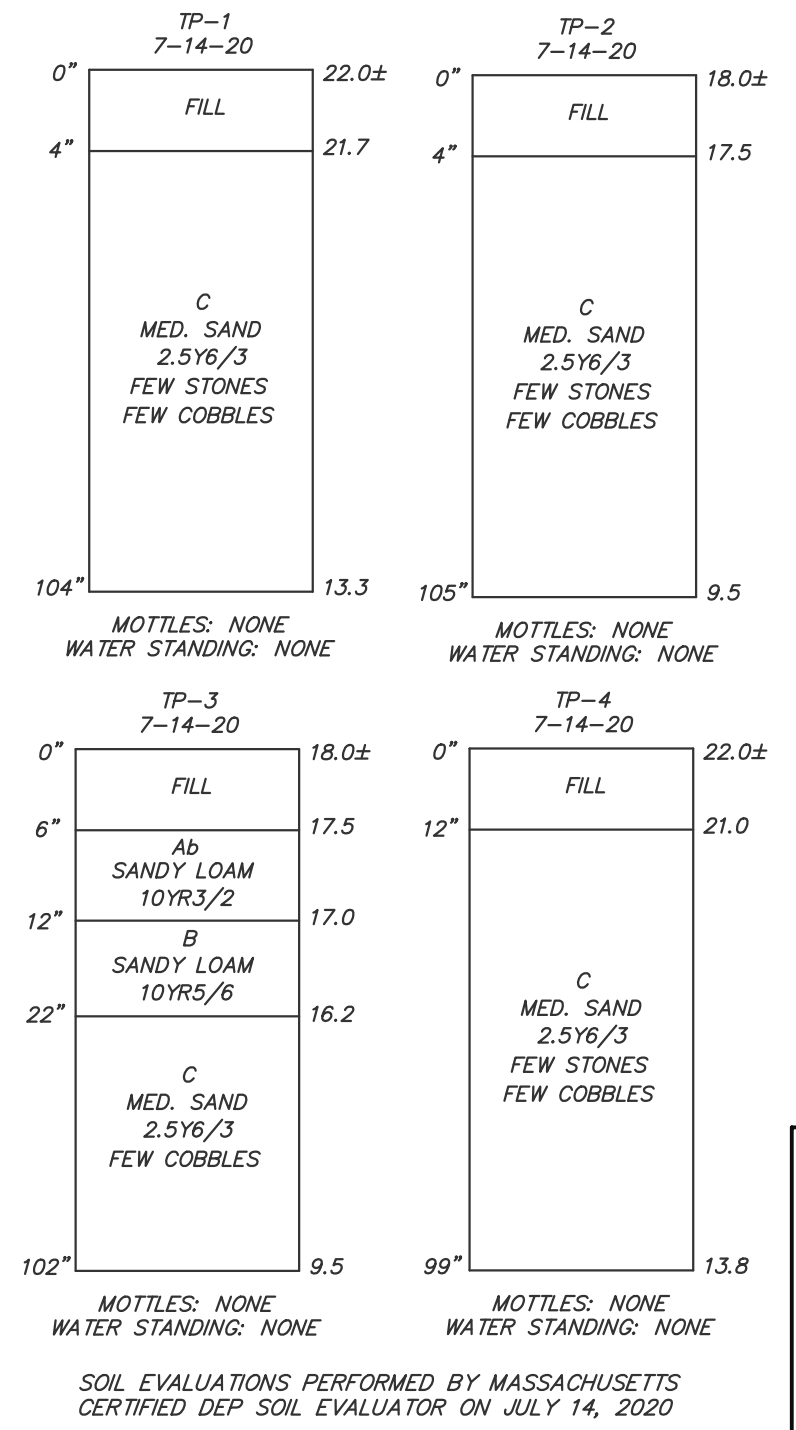
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 SCITUATE, MA 02066

ZONING DISTRICT: VILLAGE CENTER AND  
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PROPOSED USE: GASOLINE FILLING STATION  
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**SEQUENCE OF CONSTRUCTION & SOIL EXCAVATION MANAGEMENT PROCEDURES.**

1. INSTALL SOCK BALES AND SILT FENCE AROUND EXISTING STORM DRAIN STRUCTURES AND WITHIN THE LIMIT OF CONSTRUCTION AS SHOWN ON DEMOLITION AND SITE PLANS.
2. EXCAVATE FOR NEW BUILDING FOUNDATION, PUMPS AND CANOPY STRUCTURES, UNDER SUPERVISION OF THE PROJECT LICENSED SITE PROFESSIONAL (LSP) AND OR ITS DESIGNATED QUALIFIED REPRESENTATIVE.
3. ANY VISUALLY CONTAMINATED SOIL SHOULD BE REMOVED FROM EXCAVATION AND TEMPORARILY STORED OR DIRECTLY TRANSPORTED OFF-SITE TO AN APPROVED LOCATION.
4. EXCAVATED SOILS SHALL BE MANAGED IN ACCORDANCE WITH ALL OF THE APPLICABLE MASSACHUSETTS DEPARTMENT OF ENVIRONMENTAL PROTECTION RULES AND REGULATIONS.
5. ALL OFF-SITE SHIPMENT OF CONTAMINATED SOILS SHALL BE ACCOMPANIED BY A BILL OF LADING.
6. ANY STOCKPILED SOILS SHALL BE PLACED ON POLY AND SECURELY COVERED WITH POLY WITH HAYBALES AROUND STOCKPILES UNTIL PROPER DISPOSAL CAN OCCUR.

**UTILITY NOTES**

1. CONTRACTOR TO LOCATE ALL EXISTING UTILITY SERVICES ON LOT PRIOR TO CONSTRUCTION.
2. RECONNECTION OF EXISTING UTILITIES TO NEW BUILDING ARE SUBJECT TO THE INSPECTION & APPROVAL OF THE TOWN OF SCITUATE OFFICIALS HAVING JURISDICTION OVER COMPLETED WORK.
3. CONTRACTOR TO RELOCATE ANY EXISTING UTILITIES IN CONFLICT WITH NEW BUILDING LOCATION IN COMPLIANCE WITH APPLICABLE REQUIREMENTS BY LOCAL DEPARTMENTS HAVING JURISDICTION OVER PROPOSED WORK.
4. THIS ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY AND LOCATION OF UNDERGROUND EXISTING UTILITIES ON SITE.

**DRAINAGE & MAINTENANCE SCHEDULE**

ONCE ACCEPTED AS-BUILT, THE OWNER SHALL PERFORM ROUTINE MAINTENANCE OF THE STORMWATER MANAGEMENT SYSTEM. THE OWNER SHALL COORDINATE/SCHEDULE STORMCEPTOR TO BE CLEANED IN COMPLIANCE WITH ALL STATE, FEDERAL GUIDELINES AND REGULATIONS.

**ROUTINE SITE MAINTENANCE**

PARKING LOT MAINTENANCE IN THE FORM OF SWEEPING WITH HIGH EFFICIENCY VACUUM SWEEPER SHALL BE CONDUCTED ON A MONTHLY AVERAGE WITH SWEEPING SCHEDULED PRIMARILY IN SPRING AND FALL. SWEEPING PROVIDES IMPORTANT NON-POINT SOURCE POLLUTION CONTROL. WHEN PRACTICAL AND AS WEATHER PERMITS, ACCUMULATED SEDIMENTS SHOULD BE SWEEPED AND REMOVED ON AN AS NEEDED BASIS DURING THE MONTHS OF JANUARY THROUGH MARCH.

**STORMCEPTOR**

STORMCEPTOR WILL BE INSPECTED IN ACCORDANCE WITH THE MANUFACTURER REQUIREMENTS BUT NO LESS THAN TWICE A YEAR FOLLOWING INSTALLATION, AND NO LESS THAN ONCE A YEAR THEREAFTER.

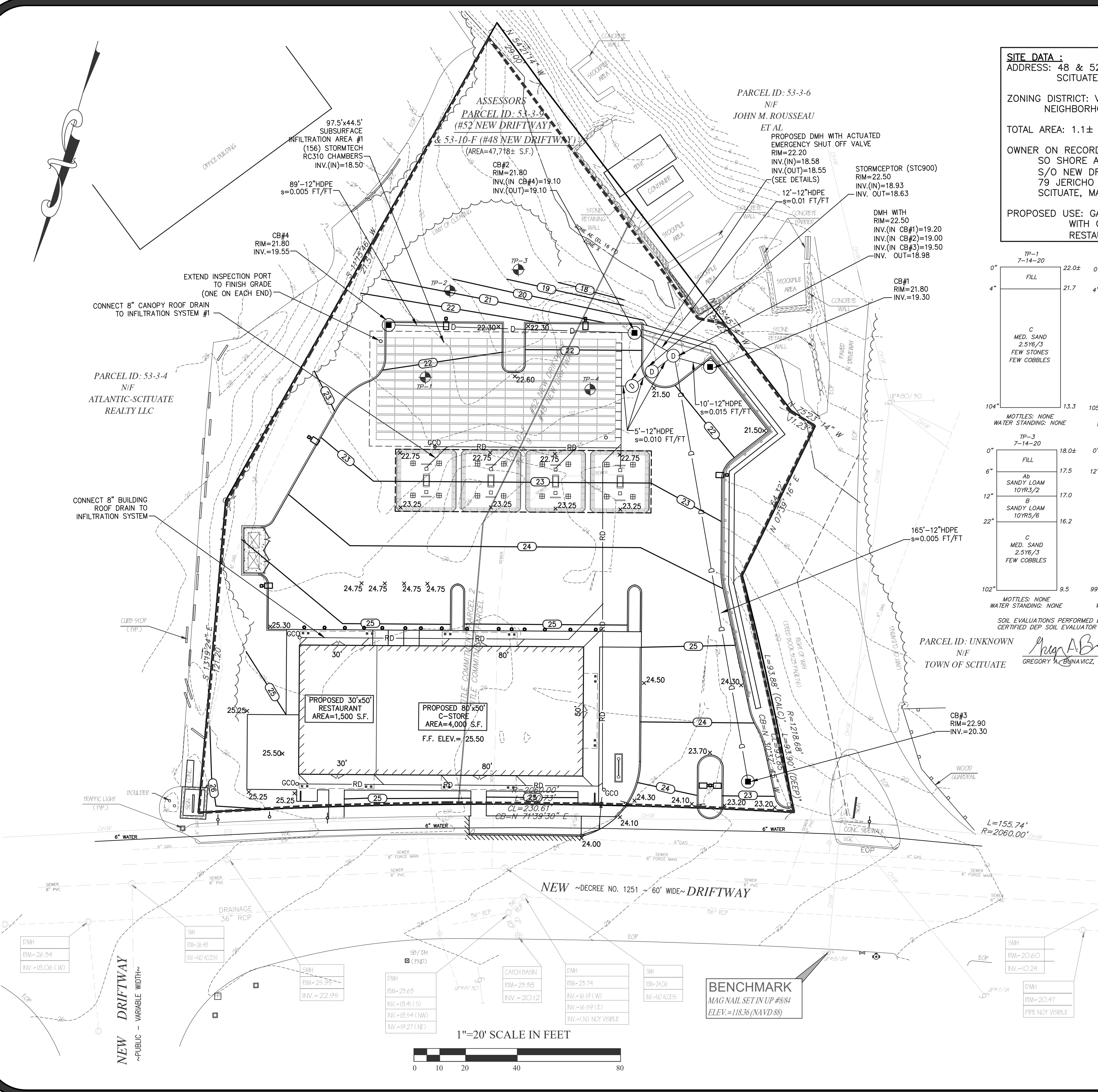
**CATCH BASINS/DRAINAGE MANHOLES**

ALL STRUCTURES WILL BE INSPECTED (4) FOUR TIMES PER YEAR. STRUCTURES WILL BE CLEANED TWICE A YEAR OR WHENEVER THE DEPTH OF DEPOSITS IS GREATER THAN OR EQUAL TO ONE HALF THE DEPTH FROM THE BOTTOM OF THE INVERT OF THE LOWEST PIPE IN THE STRUCTURE AND AT THE END OF THE FOLIAGE AND SNOW REMOVAL SEASONS. ALL STRUCTURES WILL BE CLEANED USING A VACUUM SWEEPER TRUCK TO REMOVE TRAPPED SEDIMENT AND WATER/OIL FROM THE DEEP SUMPS. MATERIAL OR FLUID REMOVED DURING CLEANINGS WILL BE DISPOSED IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL REGULATIONS.

**UNDERGROUND INFILTRATION SYSTEMS MAINTENANCE**

INFILTRATION SYSTEMS WILL BE AGGRESSIVELY MAINTAINED ON A REGULAR SCHEDULE. UNITS WILL BE INSPECTED EVERY SIX MONTHS. FOR THE FIRST YEAR OF INSTALLATION INFILTRATION UNITS SHALL BE CHECKED AND INSPECTED AFTER EVERY MAJOR STORM EVEN (2 YEAR RETURN FREQUENCY). INLET PIPES WILL BE CHECKED TO DETERMINE IF THEY ARE CLOGGED AND ACCUMULATED SEDIMENT, TRASH, DEBRIS, LEAVES AND VEGETATION WILL BE REMOVED. IF INFILTRATION SYSTEM FAILS TO FULLY DEWATER WITHIN 72 HOURS OF A STORM EVEN, THEN THE RESPONSIBLE PARTY (FACILITY OWNER/OPERATOR) SHALL RETAIN A QUALIFIED PROFESSIONAL ENGINEER TO ASSESS THE CAUSE OF THE FAILURE OF THE SYSTEM AND DEVELOP RECOMMENDATIONS FOR CORRECTIVE ACTION. CORRECTIVE ACTION MUST BE IMPLEMENTED TO RESTORE SYSTEM FUNCTION.

DURING CONSTRUCTION OF THE FACILITY AND THE STORMWATER MANAGEMENT SYSTEM THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL DAY TO DAY OPERATIONS AND MAINTENANCE OF ALL STORMWATER CONTROL SYSTEMS. AFTER CONSTRUCTION IS COMPLETED, THE OWNER WILL TAKE OVER ALL MAINTENANCE REQUIREMENTS FOR THE STORMWATER CONTROL SYSTEM IN COMPLIANCE WITH THE OPERATION AND MAINTENANCE PLAN.



PARCEL ID: UNKNOWN  
 N/F  
 TOWN OF SCITUATE  
 GREGORY A. BRYNACZ, SE 2412

Issue Date: 06/23/2020

Revisions		
No.	Date	Description
1	07/24/2020	Revised Plans

Project Number: 20-571

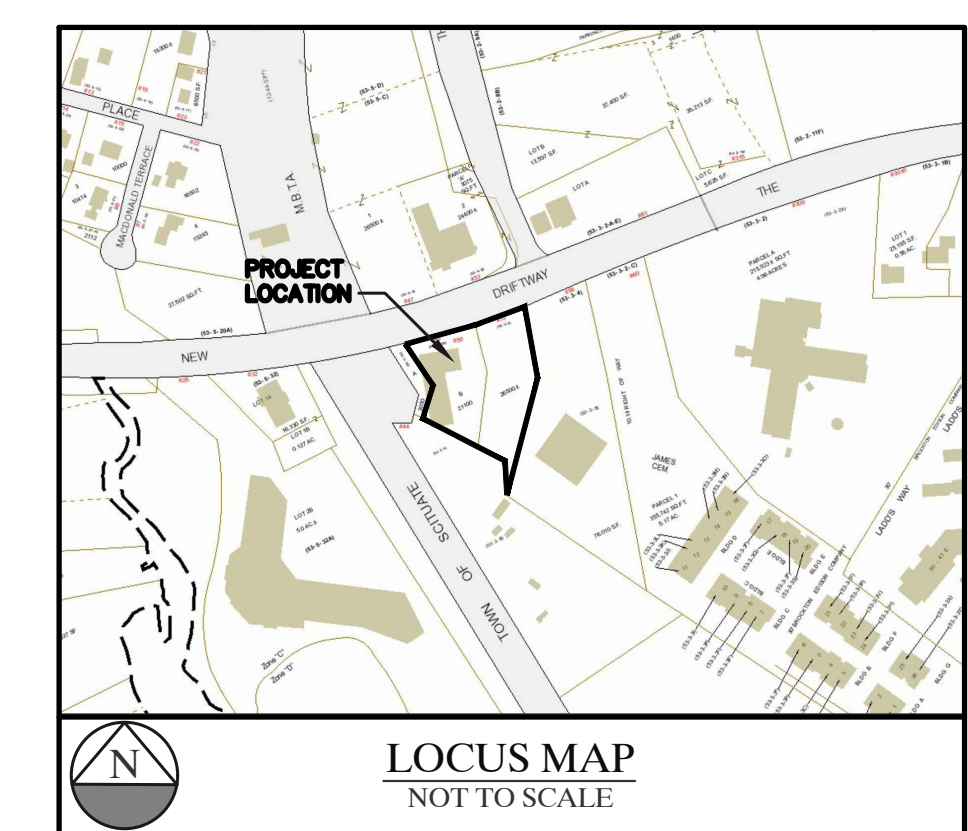
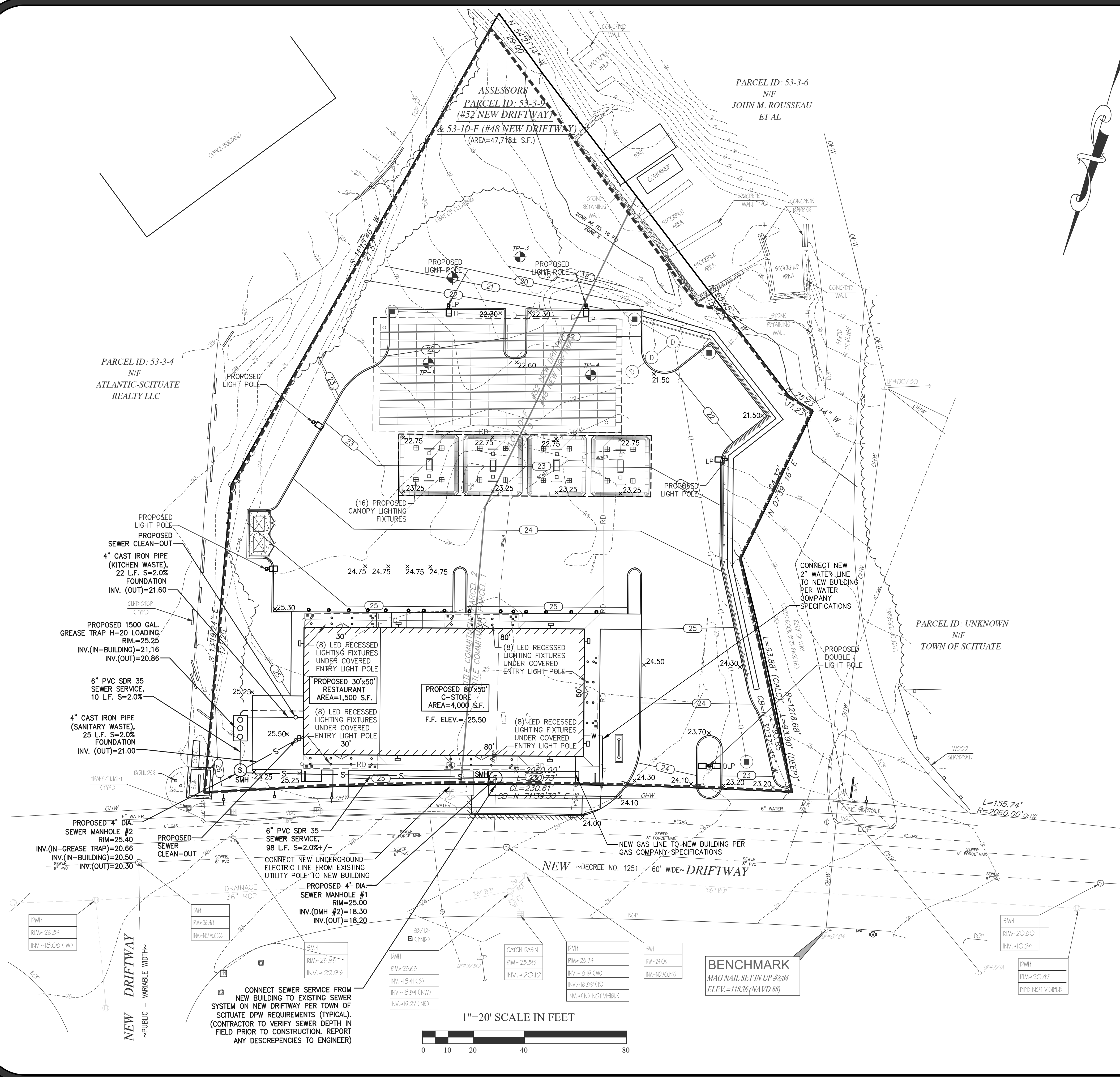
Scale: AS SHOWN

Designed By: CMS

Drawn By: CMS      Checked By: HC

Sheet Title:

**GRADING & DRAINAGE PLAN**



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Project:  
**PROPOSED GASOLINE FILLING STATION CONVENIENCE STORE & RESTAURANT/FOOD SERVICE AT 48 & 52 NEW DRIFTWAY SCITUATE, MA**

Prepared For:  
**PETRO REALTY CORP.  
 4 NORTH STREET,  
 HINGHAM, MA 02043**

**UTILITY NOTES**  
 1. CONTRACTOR TO LOCATE ALL EXISTING UTILITY SERVICES ON LOT PRIOR TO CONSTRUCTION.  
 2. RECONNECTION OF EXISTING SEWER SERVICE AND OTHER UTILITIES TO NEW BUILDING ARE SUBJECT TO THE INSPECTION & APPROVAL OF THE TOWN OF SCITUATE OFFICIALS HAVING JURISDICTION OVER COMPLETED WORK.  
 3. CONTRACTOR TO RELOCATE ANY EXISTING UTILITIES IN CONFLICT WITH NEW BUILDING LOCATION IN COMPLIANCE WITH APPLICABLE REQUIREMENTS BY LOCAL DEPARTMENTS HAVING JURISDICTION OVER PROPOSED WORK.  
 4. THIS ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY AND LOCATION OF UNDERGROUND EXISTING UTILITIES ON SITE.



**SEQUENCE OF CONSTRUCTION & SOIL EXCAVATION MANAGEMENT PROCEDURES.**

1. INSTALL SOCK BALES AND SILT FENCE AROUND EXISTING STORM DRAIN STRUCTURES AND WITHIN THE LIMIT OF CONSTRUCTION AS SHOWN ON DEMOLITION AND SITE PLANS.
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Issue Date: 06/23/2020  
 Revisions

No.	Date	Description

Project Number: 20-571

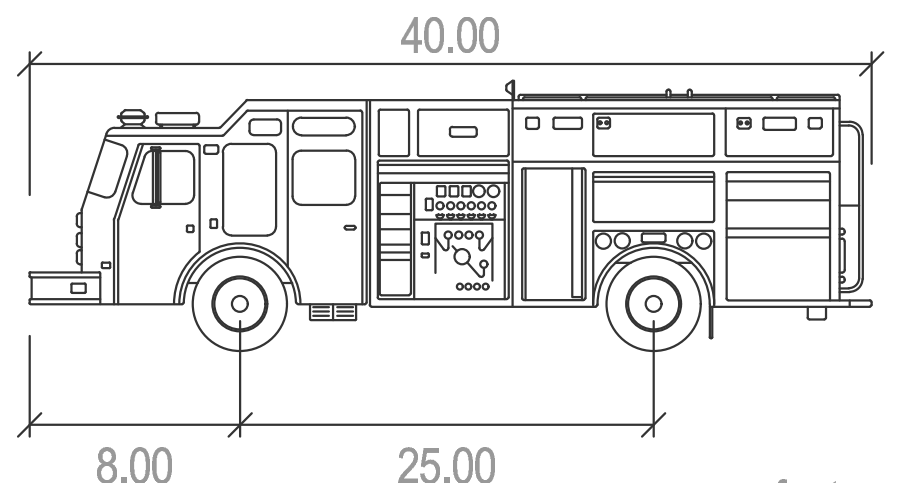
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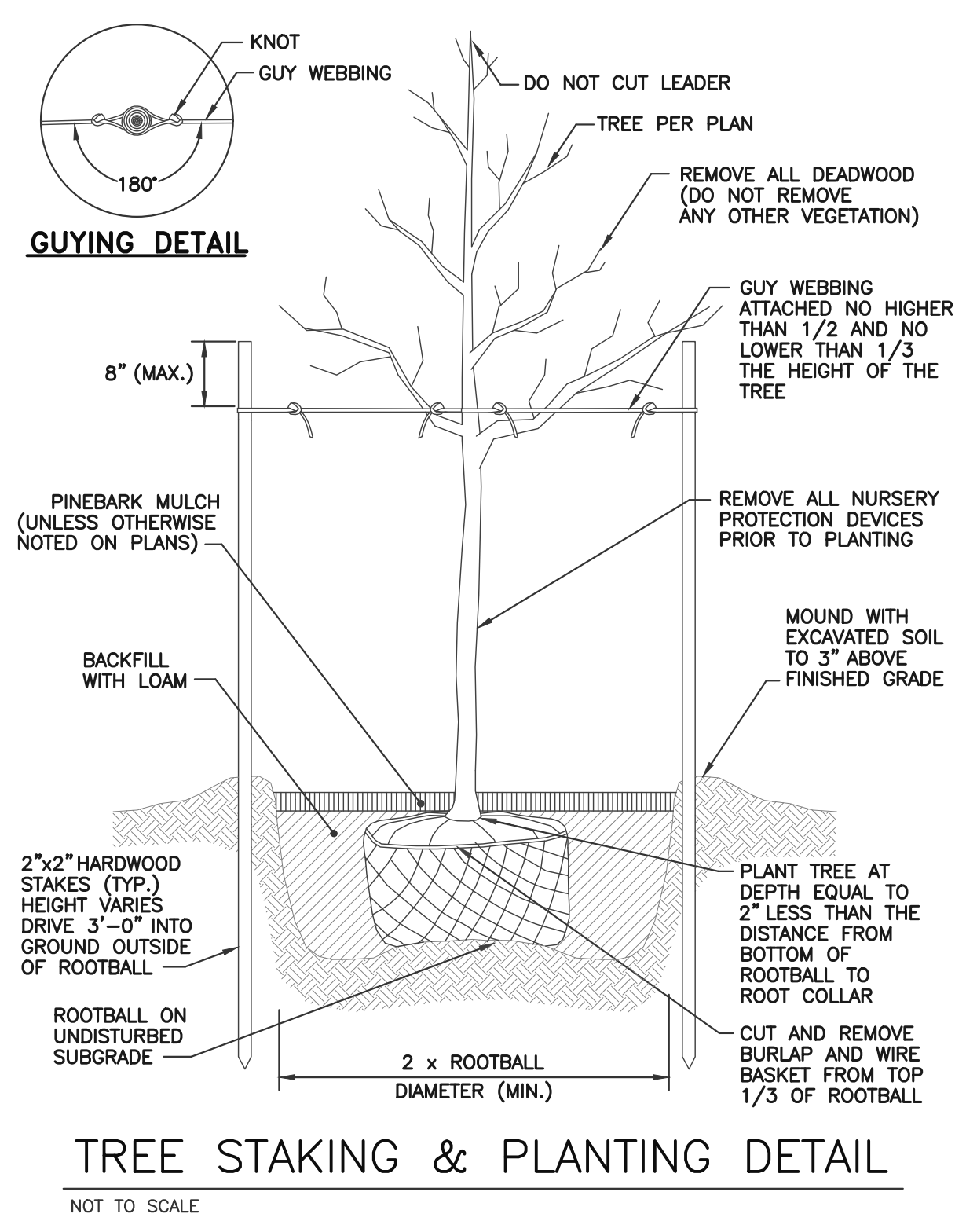
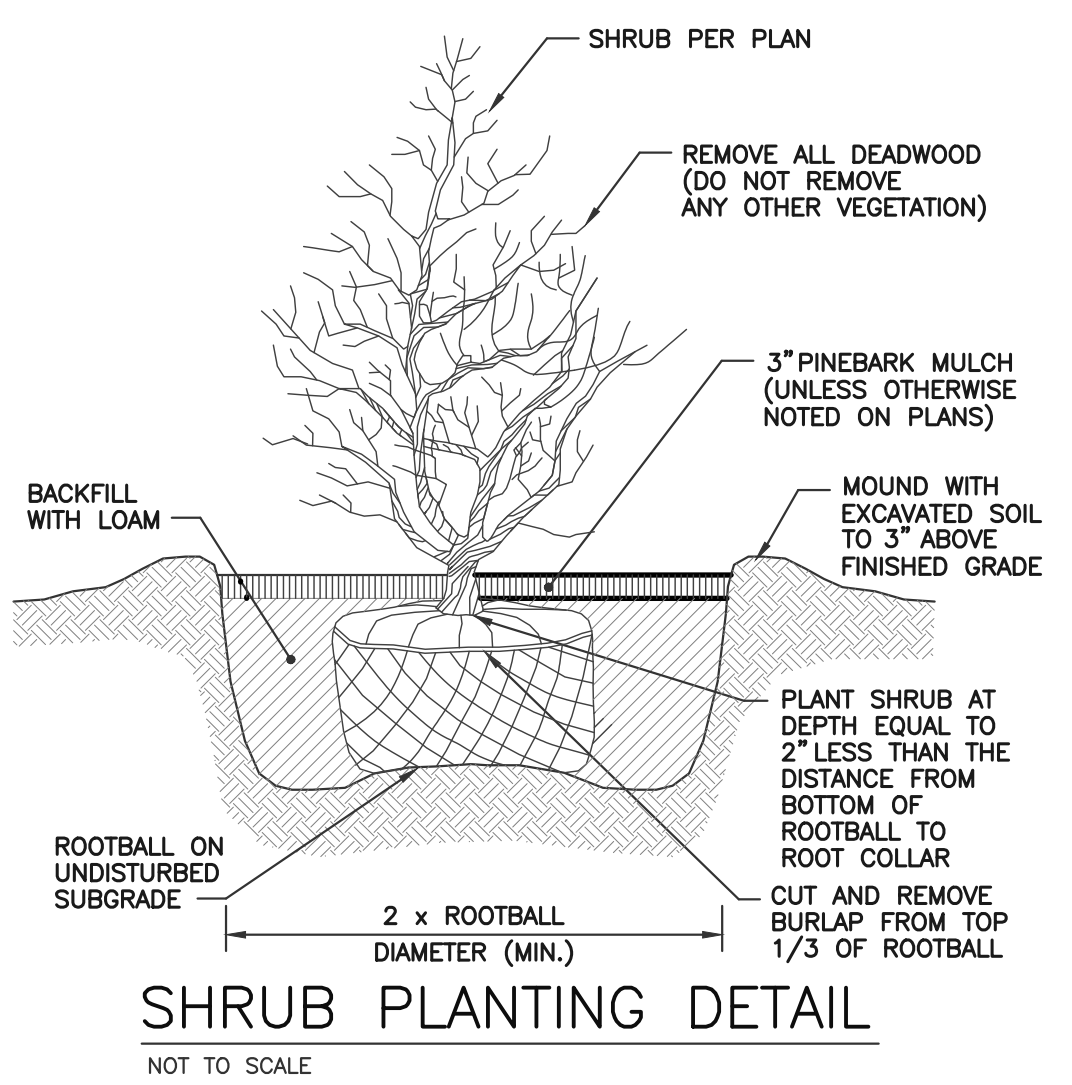
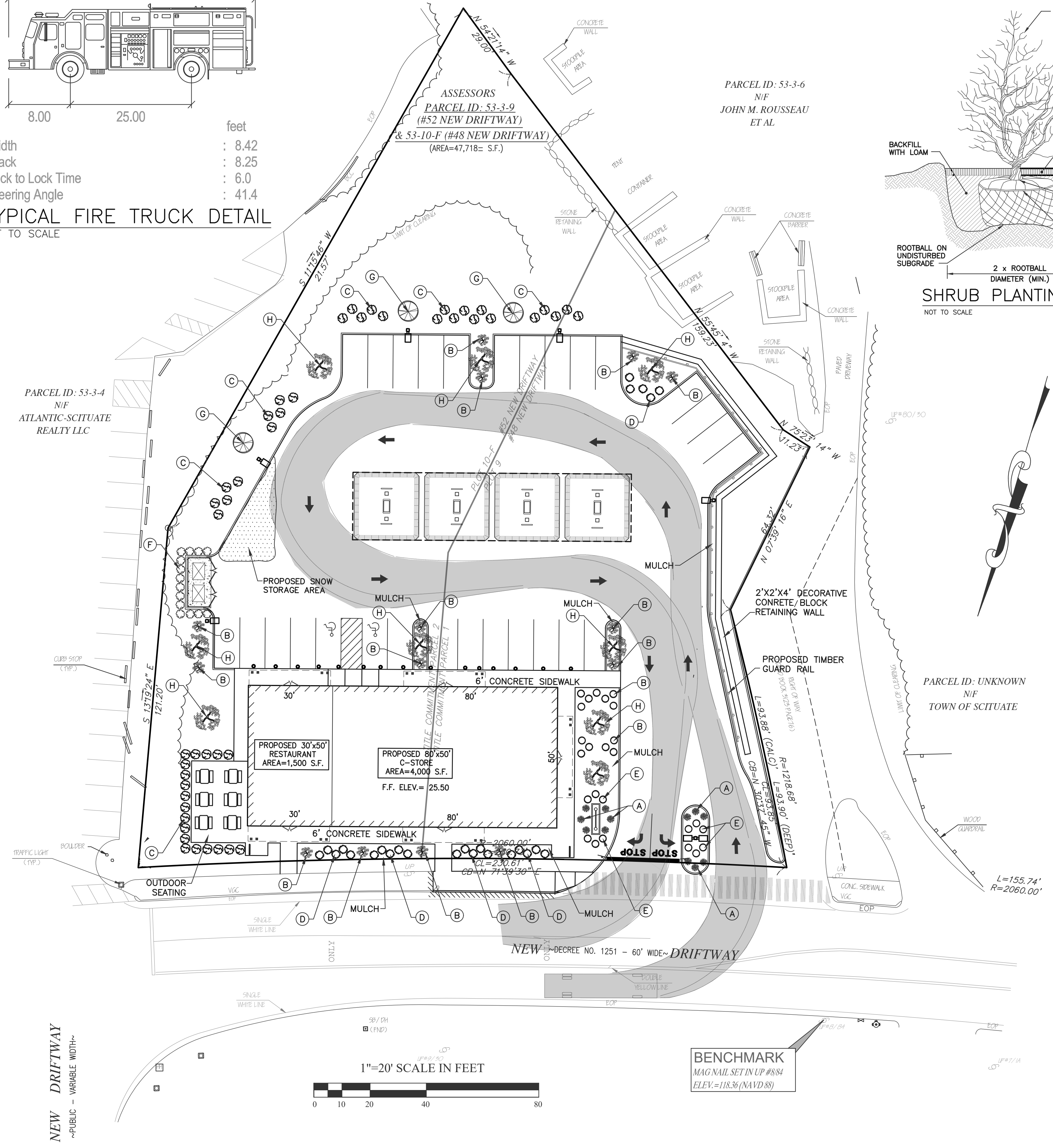
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Sheet Title:

**UTILITY PLAN**



Width : 8.42  
 Track : 8.25  
 Lock to Lock Time : 6.0  
 Steering Angle : 41.4  
**TYPICAL FIRE TRUCK DETAIL**  
 NOT TO SCALE



**WARRANTY**  
 A. Special Warranty: Warrant the following exterior plants, for the warranty period of one year against defects including death and unsatisfactory growth, except for defects resulting from lack of adequate maintenance, neglect, or abuse by owner, or incidents that are beyond contractor's control.  
 B. Warranty period for Trees and Shrubs: one year from the date of substantial completion.  
 C. Remove dead exterior plants immediately. Replace immediately unless required to plant in the succeeding planting season.  
 D. Replace exterior plants that are more than 25 percent dead or in an unhealthy condition at the end of the warranty period.  
 E. A limit of one replacement of each exterior plant will be required, except for losses or replacements due to failure to comply with requirements.

**MAINTENANCE**  
 A. Trees and Shrubs" Maintain for the following maintenance period by pruning, cultivating, watering, weeding, fertilizing, restoring planting saucers, tightening and repairing stakes and guy supports, and resetting to proper grades or vertical position, as required to establish healthy, viable plantings. Spray as required to keep trees and shrubs free of insects and disease. Restore or replace damaged tree wrappings  
 Maintenance Period: 1 year from date of substantial completion.  
 B. Ground Cover and Plants: Maintain for the following maintenance period by watering, weeding, fertilizing, and other operations as required to establish healthy, viable planting:  
 Maintenance Period: 1 year from date of substantial completion.

LANDSCAPE SCHEDULE				
TYPE	QTY	SIZE	COMMON NAME	BOTANICAL NAME
<b>ORNAMENTAL GRASSES</b>				
(A)	15	2 GAL.	LITTLE BLUESTEM	<i>SCHIZACHYRIUM SCOPARIUM</i>
<b>DECIDUOUS SHRUBS</b>				
(B)	33	18"-24"HT.	GOLD FLAME SPIREA	<i>SPIRAEA X BUMALDA "GOLDFLAME"</i>
(C)	39	18"-24"HT.	BAYBERRY	<i>MYRICA PENNSYLVANICA</i>
<b>EVERGREEN SHRUBS</b>				
(D)	30	18"-24"H.T.	AZELIA	<i>AZELIA "SENSATION"</i>
(E)	14	18"-24"H.T.	CREeping JUNIPER	<i>JUNIPERUS HORIZ. "BAR HARBOR"</i>
<b>SHADE TREES</b>				
(F)	14	5' TO 6' (HEIGHT)	AMERICAN ARBORVITAE	<i>THUJA OCCIDENTALIS</i>
(G)	6	3" CAL.	RED MAPLE	<i>ACER RUBRUM</i>
(H)	7	3" CAL.	KOUSA DOGWOOD	<i>CORNUS KOUSA</i>

1. Plantings to be from town of Scituate approved lists of plants.  
 2. All landscaping shown on plans shall conform to the Town of Scituate zoning regulations.  
 3. Mulch planting beds after shrubs, to a 3 inch depth, dark brown mulch.  
 4. Location of Perennial plantings to be approved by the Town of Scituate Planning Staff.



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Project:  
**PROPOSED GASOLINE FILLING STATION CONVENIENCE STORE & RESTAURANT/FOOD SERVICE AT 48 & 52 NEW DRIFTWAY SCITUATE, MA**

Prepared For:  
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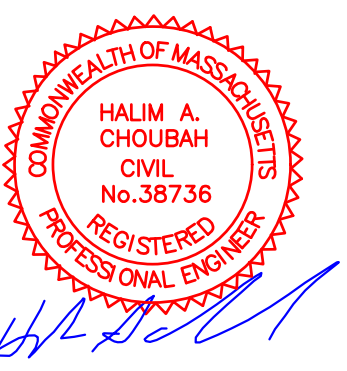
Revisions		
No.	Date	Description

Issue Date: 06/23/2020  
 Project Number: 20-571  
 Scale: AS SHOWN  
 Designed By: CMS  
 Drawn By: CMS Checked By: HC  
 Sheet Title:

**LANDSCAPE LAYOUT & FIRE TRUCK ACCESS PLAN**

Project:  
**PROPOSED GASOLINE  
 FILLING STATION  
 CONVENIENCE STORE  
 & RESTAURANT/FOOD  
 SERVICE AT  
 48 & 52 NEW DRIFTWAY  
 SCITUATE, MA**

Prepared For:  
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 4 NORTH STREET,  
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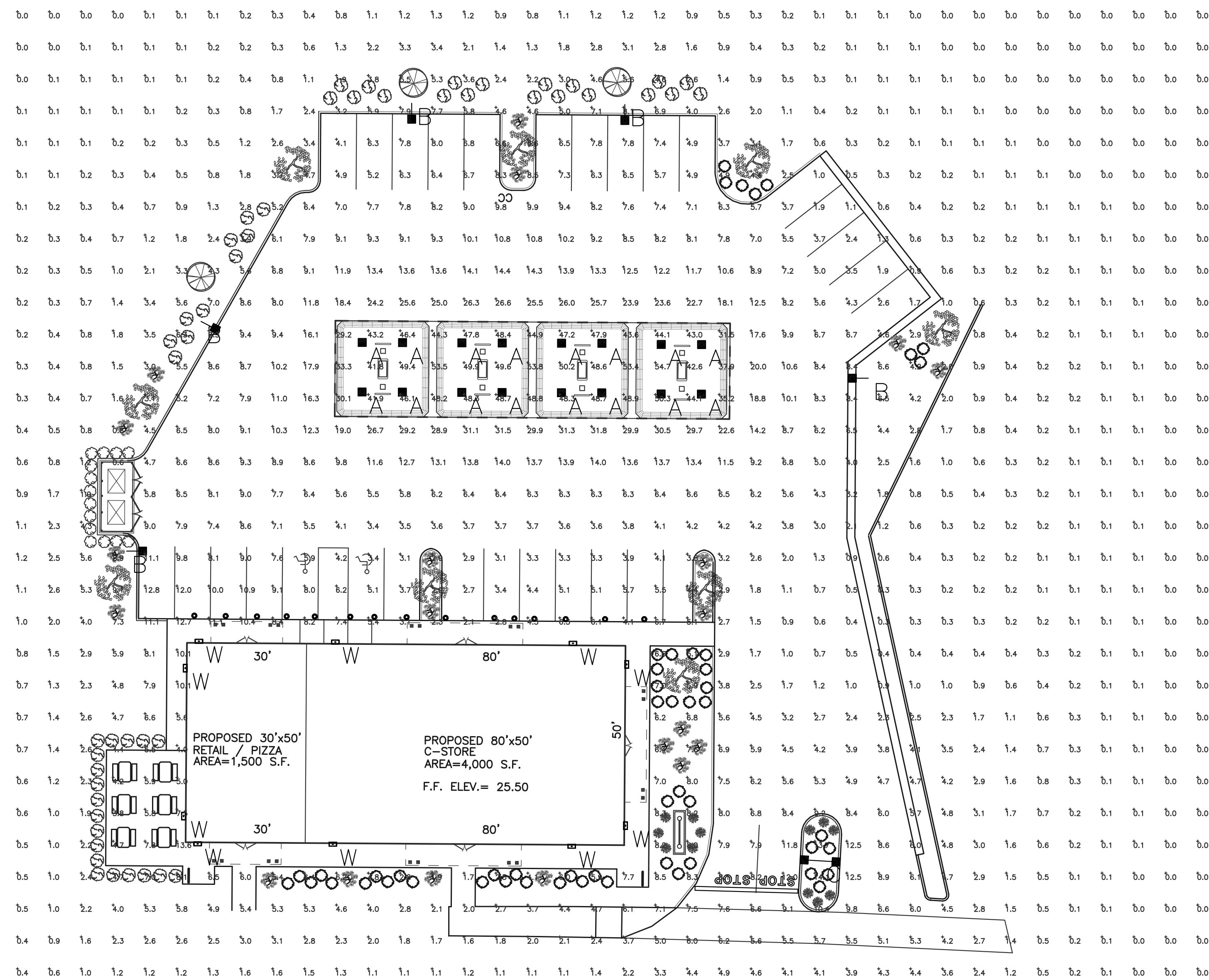
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Sheet Title:

**LIGHTING PLAN**

Total Project Watts  
 Total Watts = 3008.3

LIGHTING PROPOSAL LO-151448A  
 C-STORE  
 48&52 NEW DRIFTWAY  
 SCITUATE, MA  
 DATE: 6/23/20  
 SHEET 1 OF 1  
 SCALE: 1"=16'



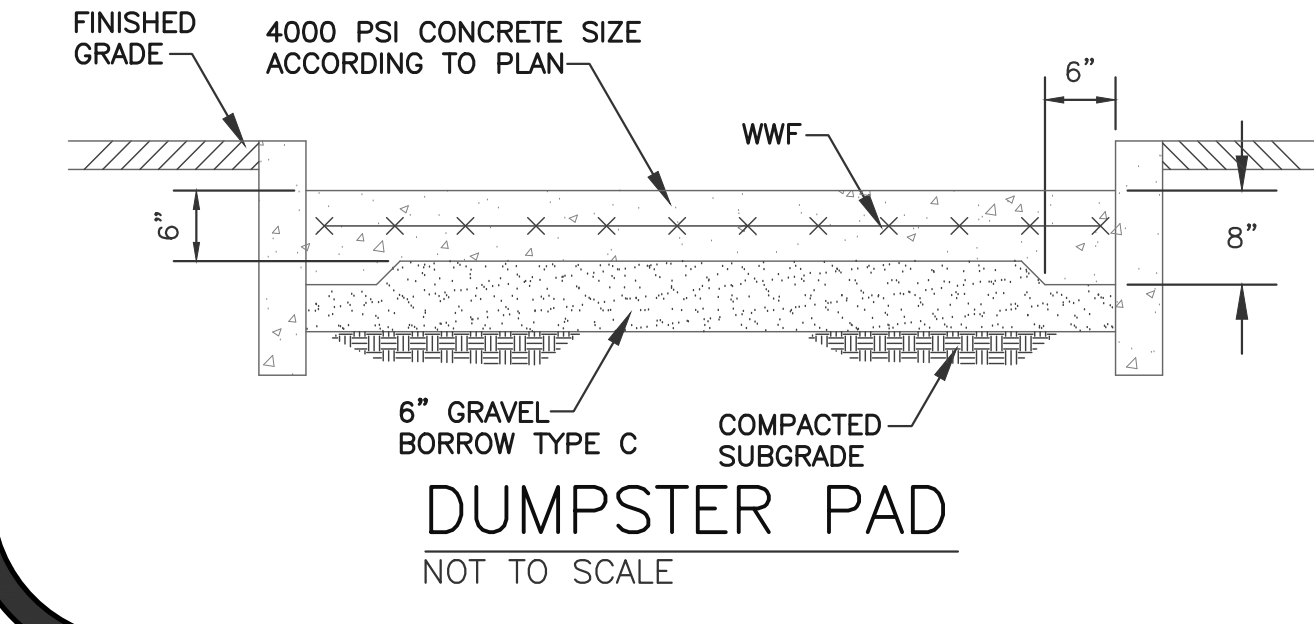
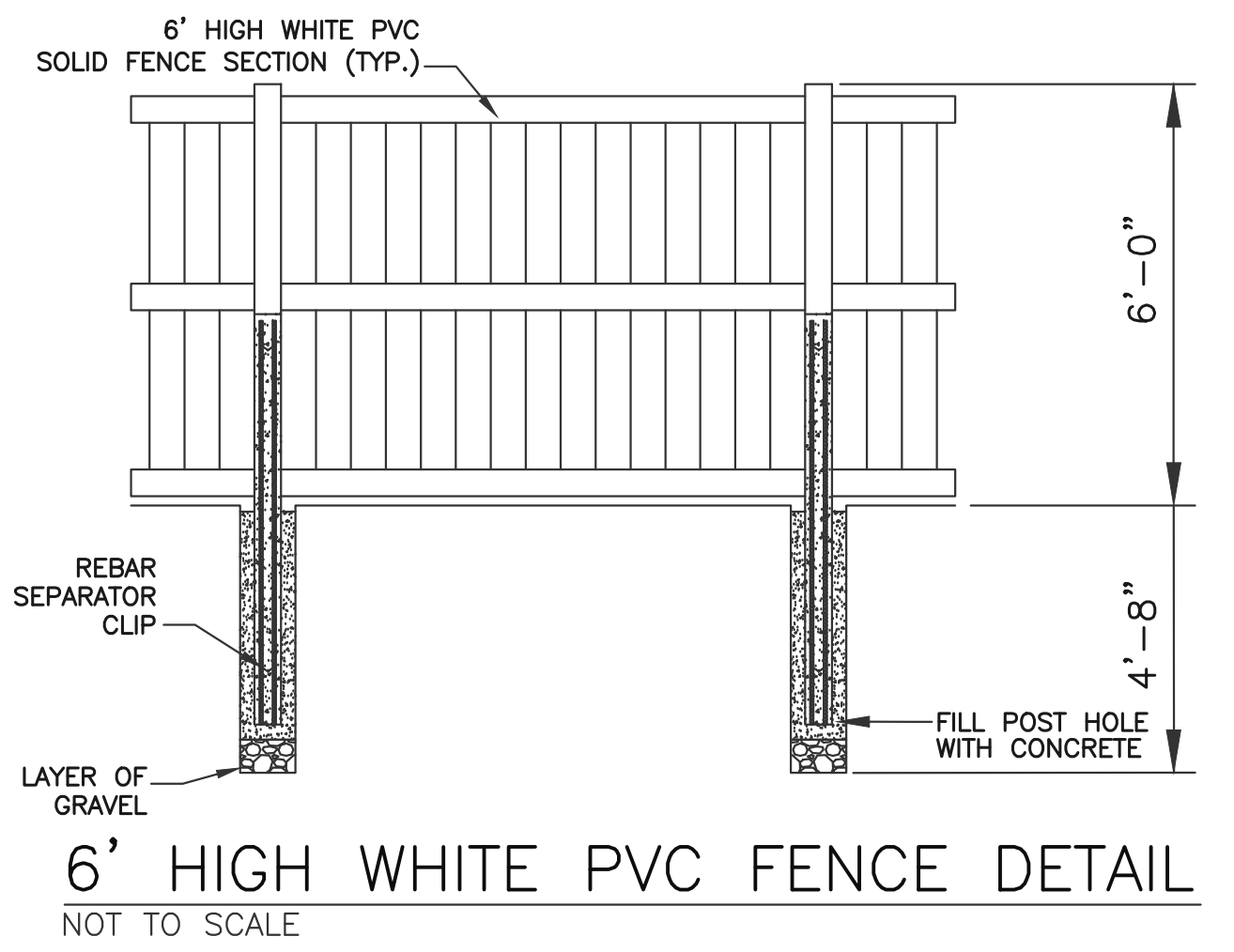
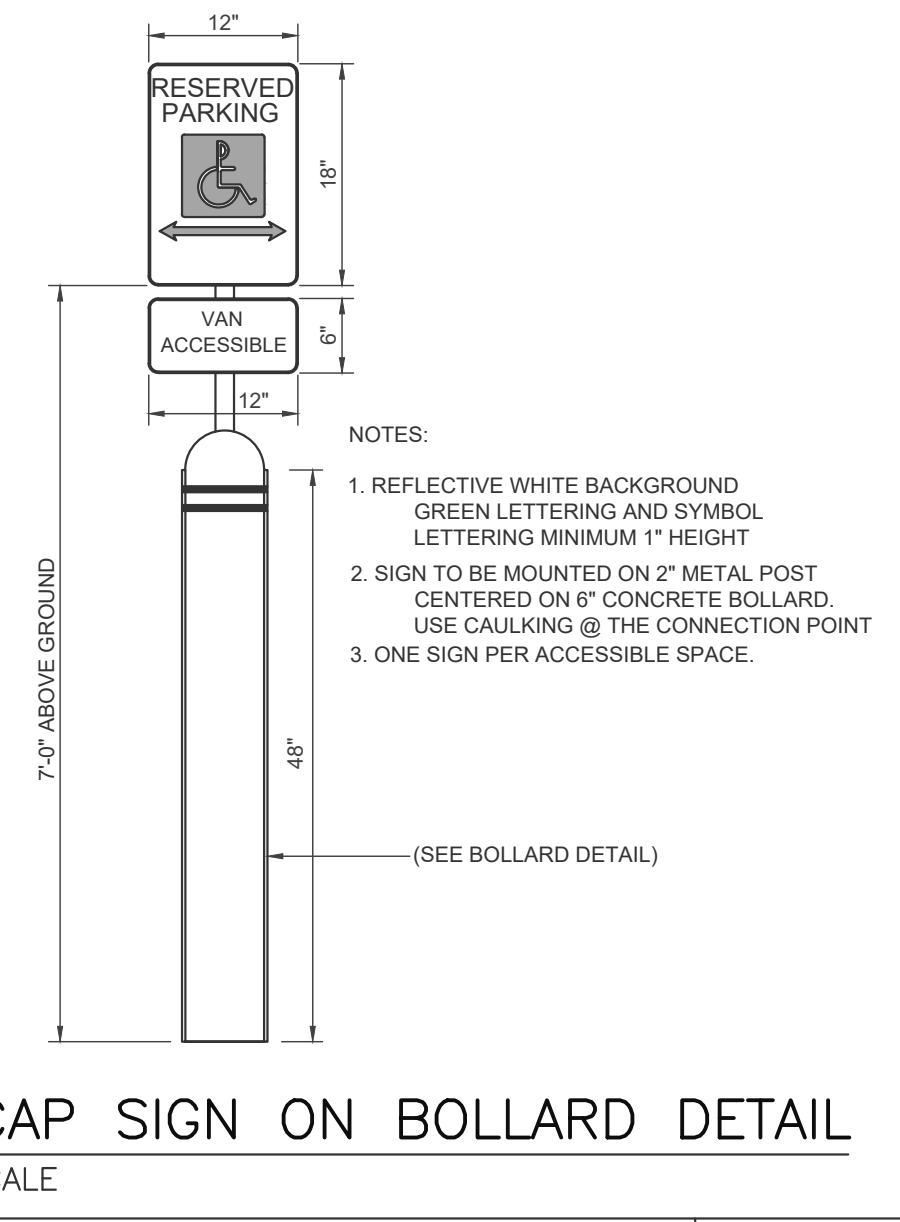
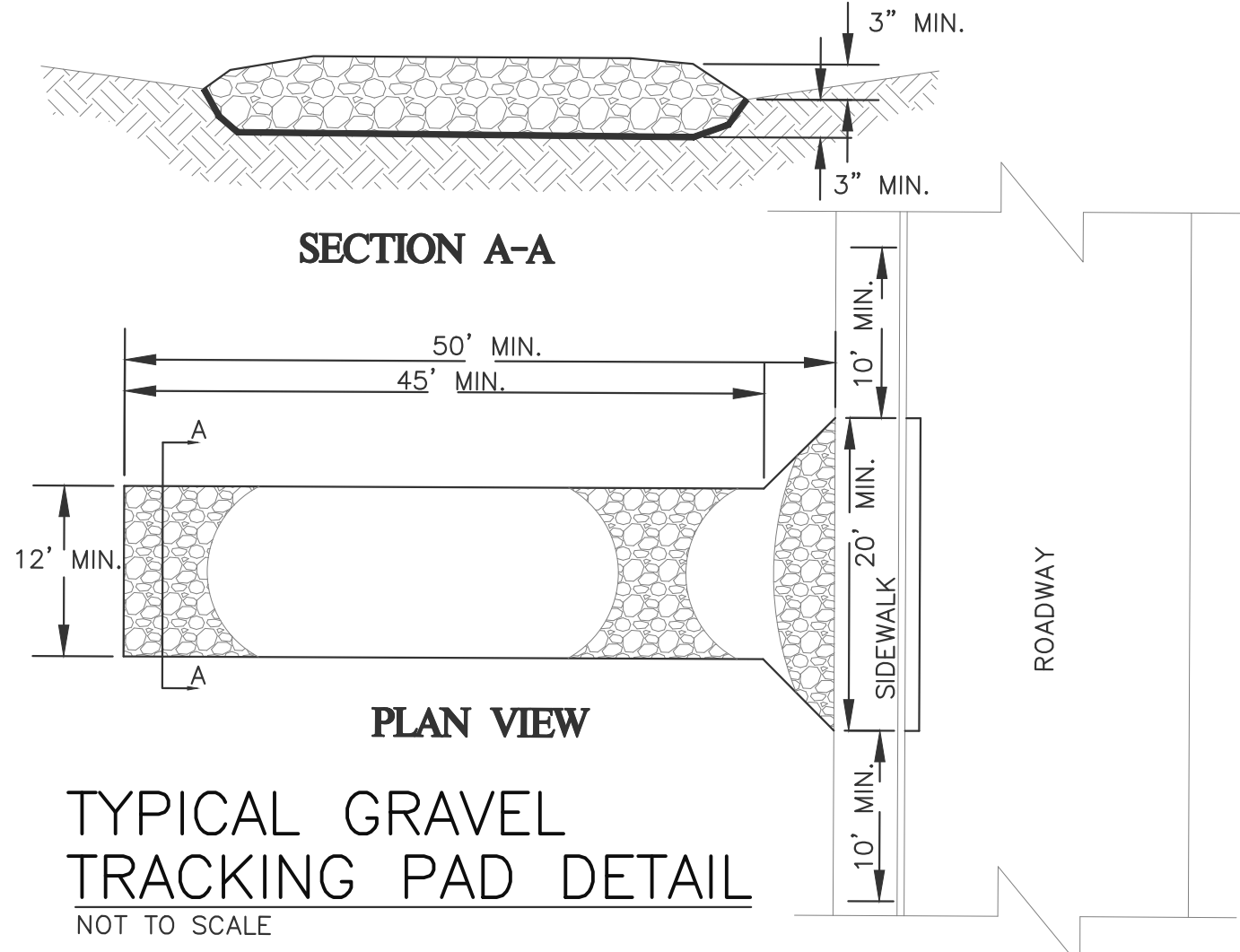
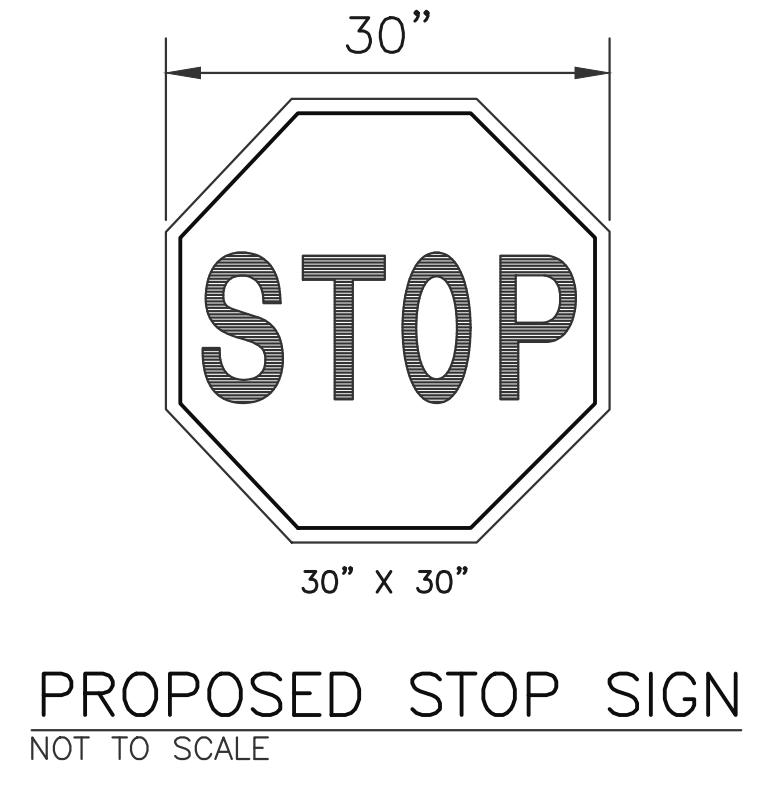
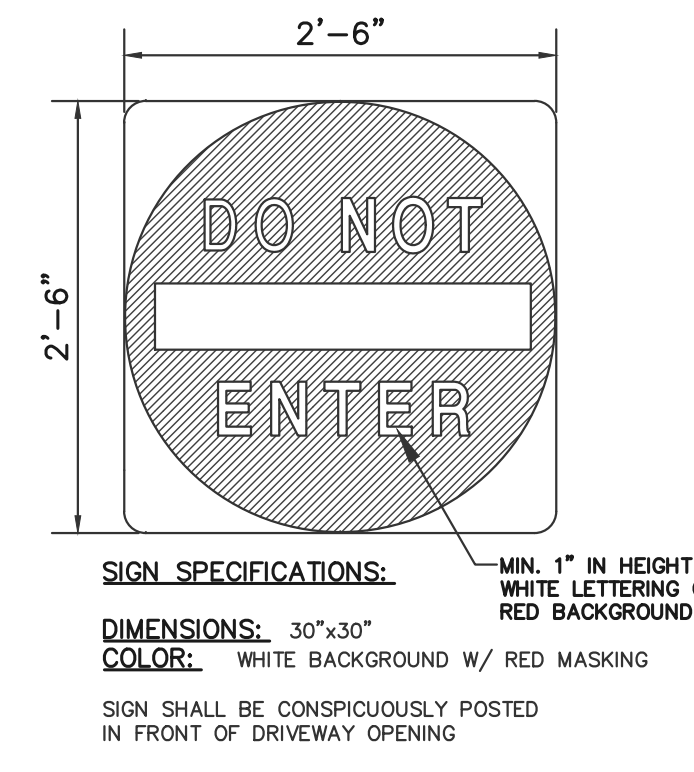
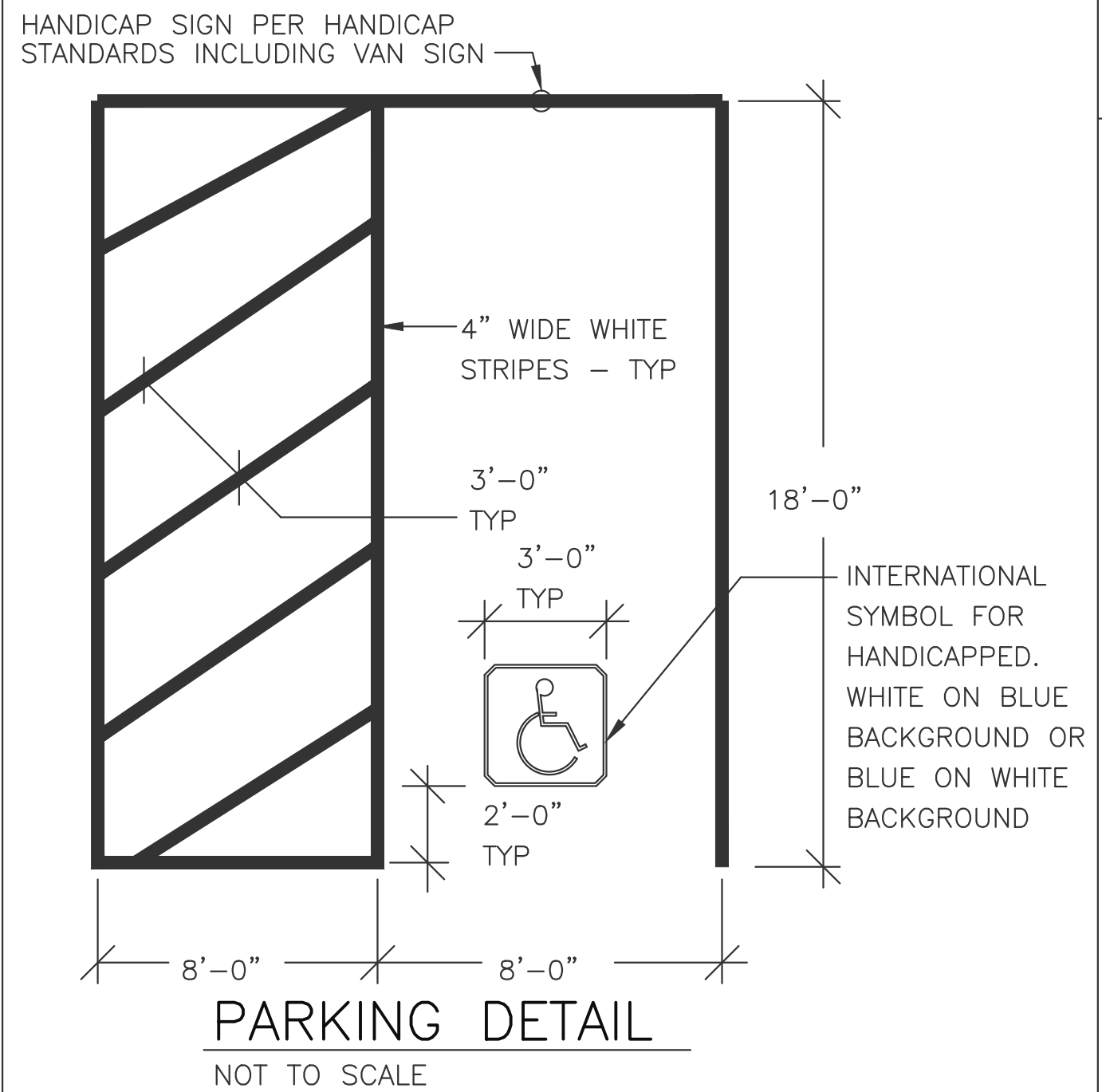
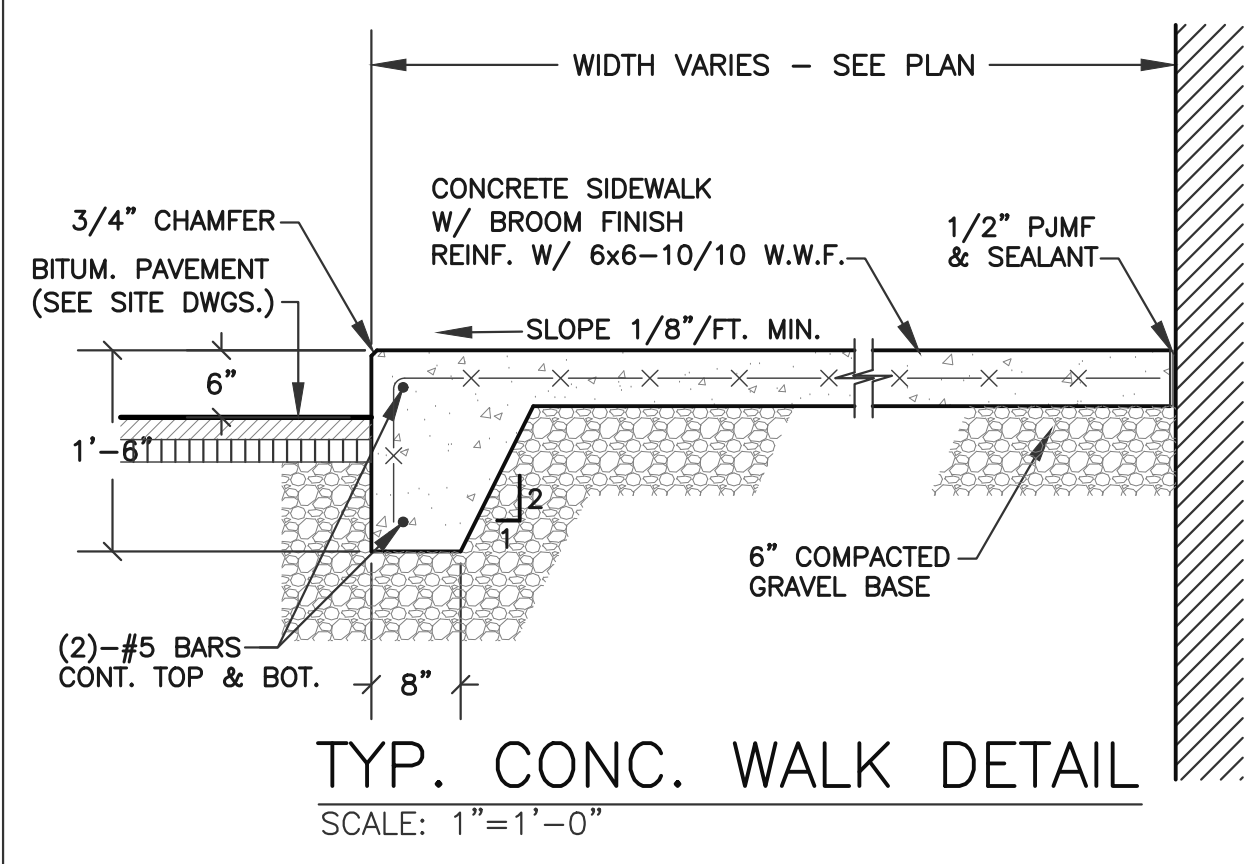
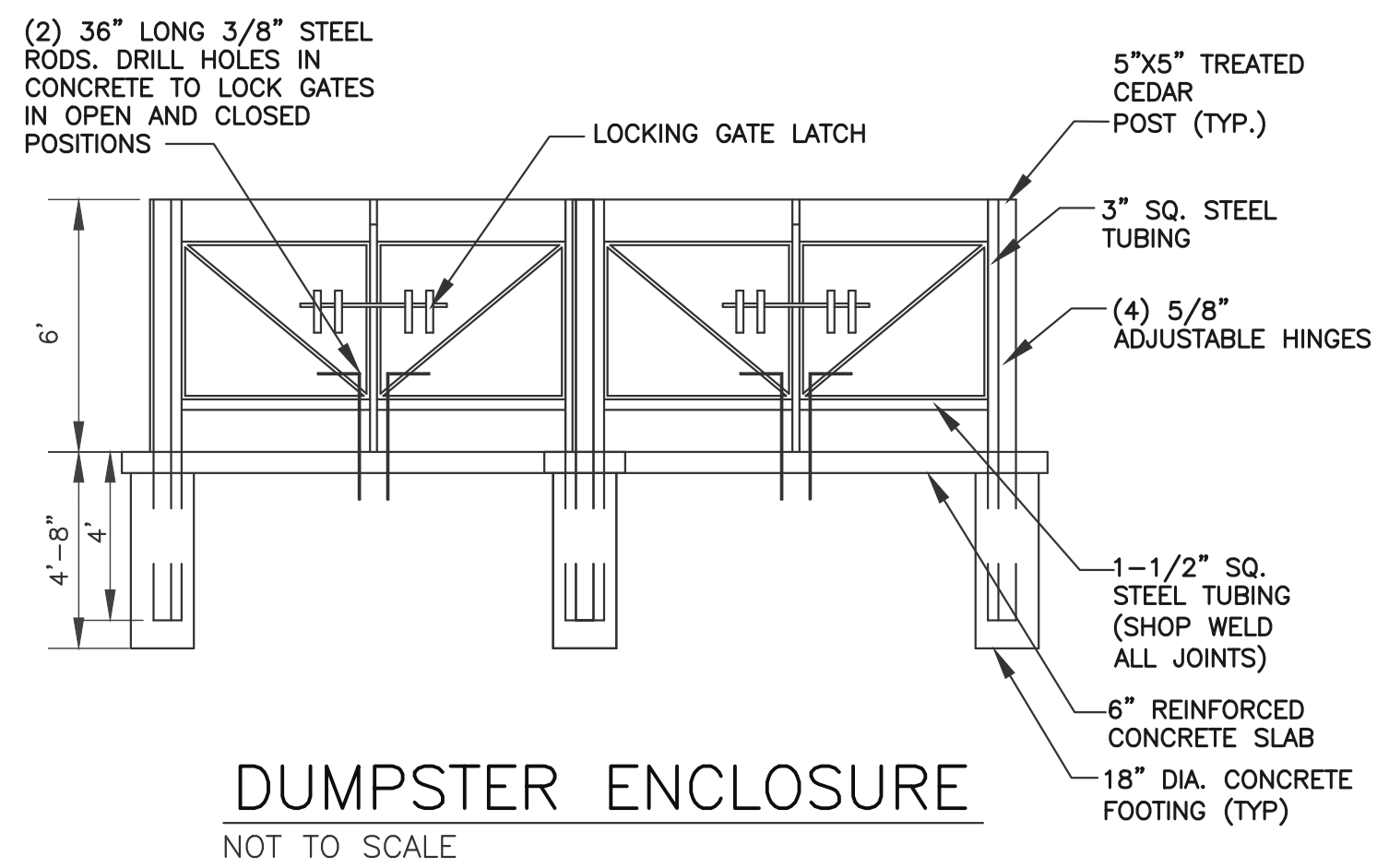
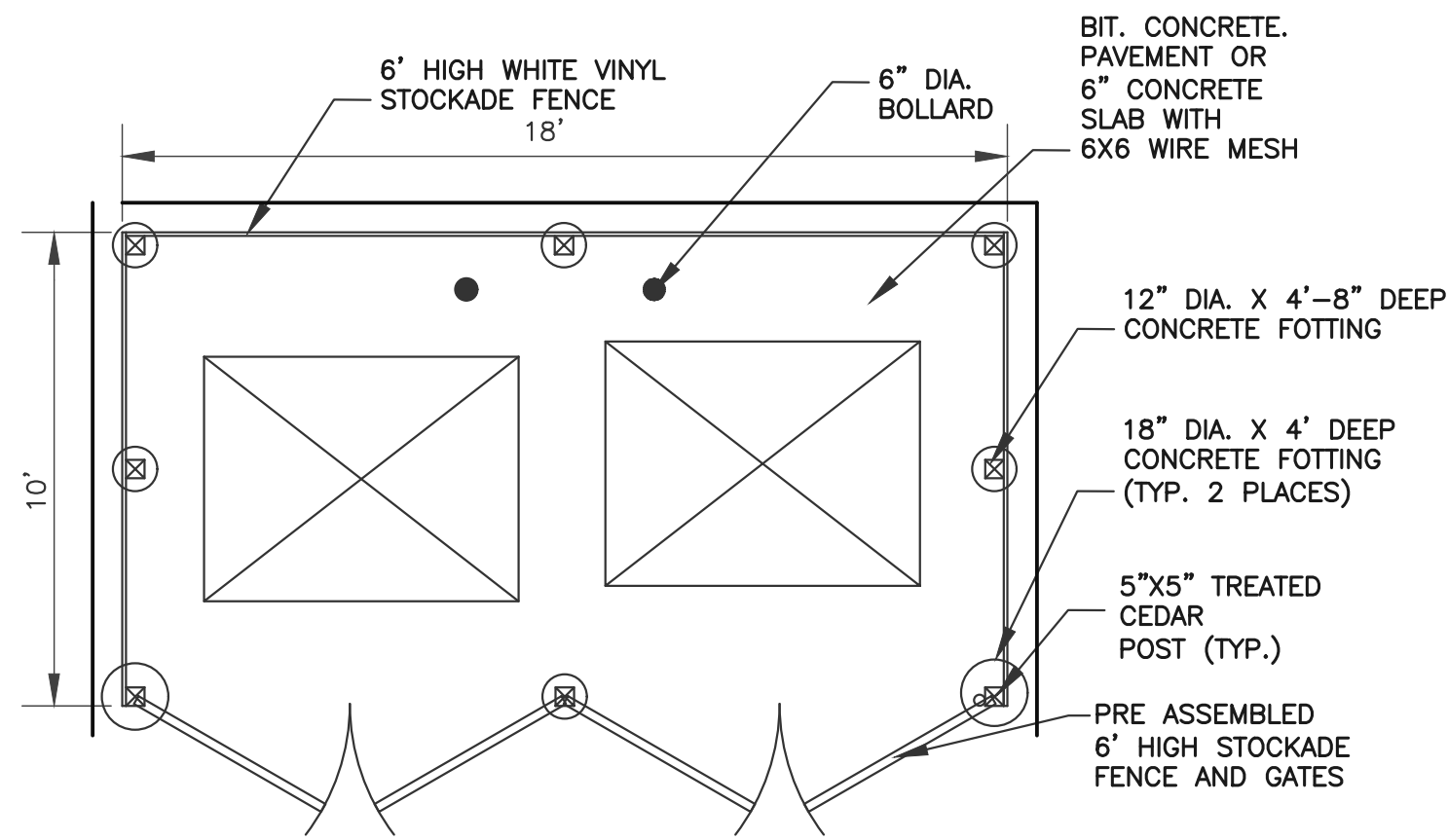
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
ALL CALC @ GRADE	illuminance	Fc	5.47	54.7	0.0	N.A.	N.A.
CANOPY	illuminance	Fc	45.33	54.7	29.2	1.55	1.87
INSIDE CURB	illuminance	Fc	8.54	31.8	0.4	21.35	79.50

Symbol	Qty	Label	Arrangement	Description	LLD	UDF	LLF	Arr. Lum. Lumens	Arr. Watts
■	16	A	SINGLE	SCV-LED-13L-SC-50-15' MH	1.000	1.000	1.000	12933	84.3
■	5	B	SINGLE	SLM-LED-18L-SIL-FT-50-70CRI-SINGLE-16' POLE+2' BASE	1.000	1.000	1.000	19664	148.5
■	1	C	D180°	SLM-LED-18L-SIL-FT-50-70CRI-D180-16' POLE+2' BASE	1.000	1.000	1.000	39328	297
■	10	W	SINGLE	XWM-FT-LED-08L-50-12' MH	1.000	1.000	1.000	7876	62

Based on the information provided, all dimensions and luminaire locations shown represent recommended positions. The engineer and/or architect must determine the applicability of the layout to existing or future field conditions.

This lighting plan represents illumination levels calculated from laboratory data taken under controlled conditions in accordance with The Illuminating Engineering Society (IES) approved methods. Actual performance of any manufacturer's luminaires may vary due to changes in electrical voltage, tolerance in lamps/LED's and other variable field conditions. Calculations do not include obstructions such as buildings, curbs, landscaping, or any other architectural elements unless noted. Fixture nomenclature noted does not include mounting hardware or poles. This drawing is for photometric evaluation purposes only and should not be used as a construction document or as a final document for ordering product.

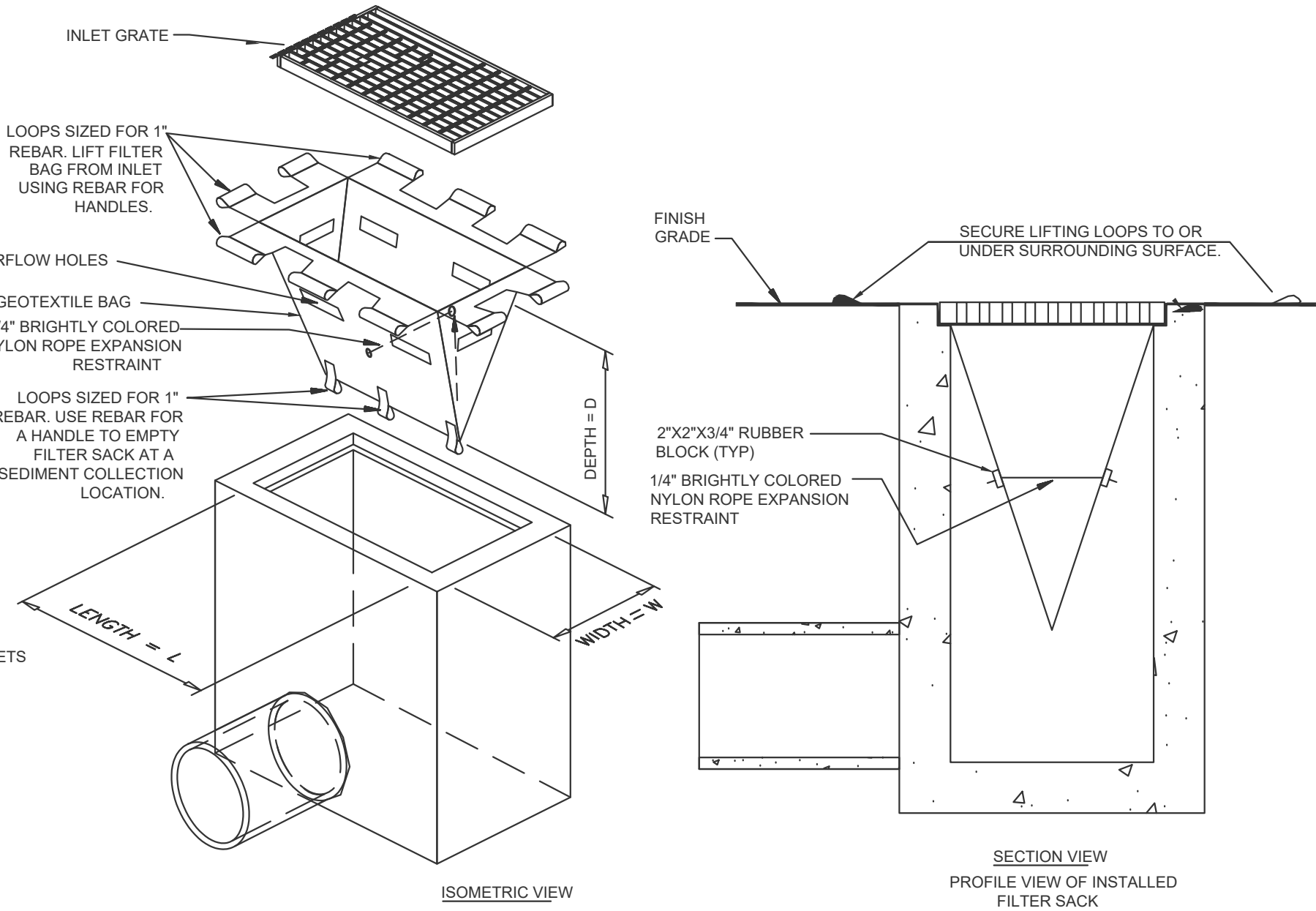




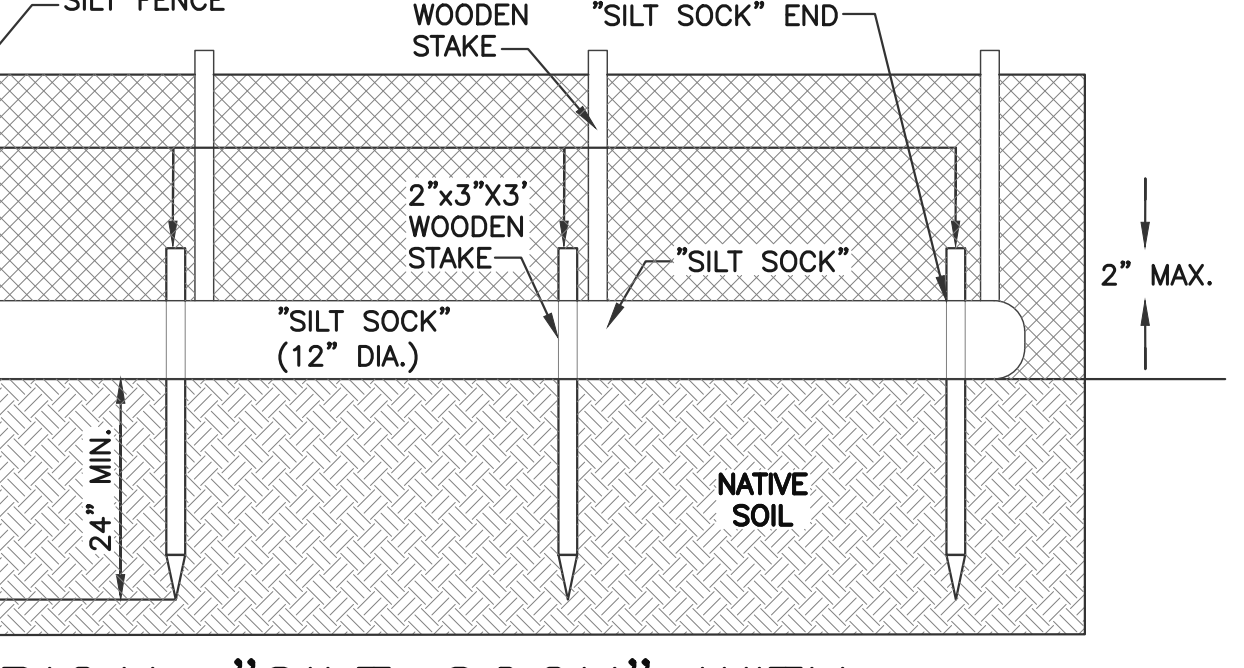
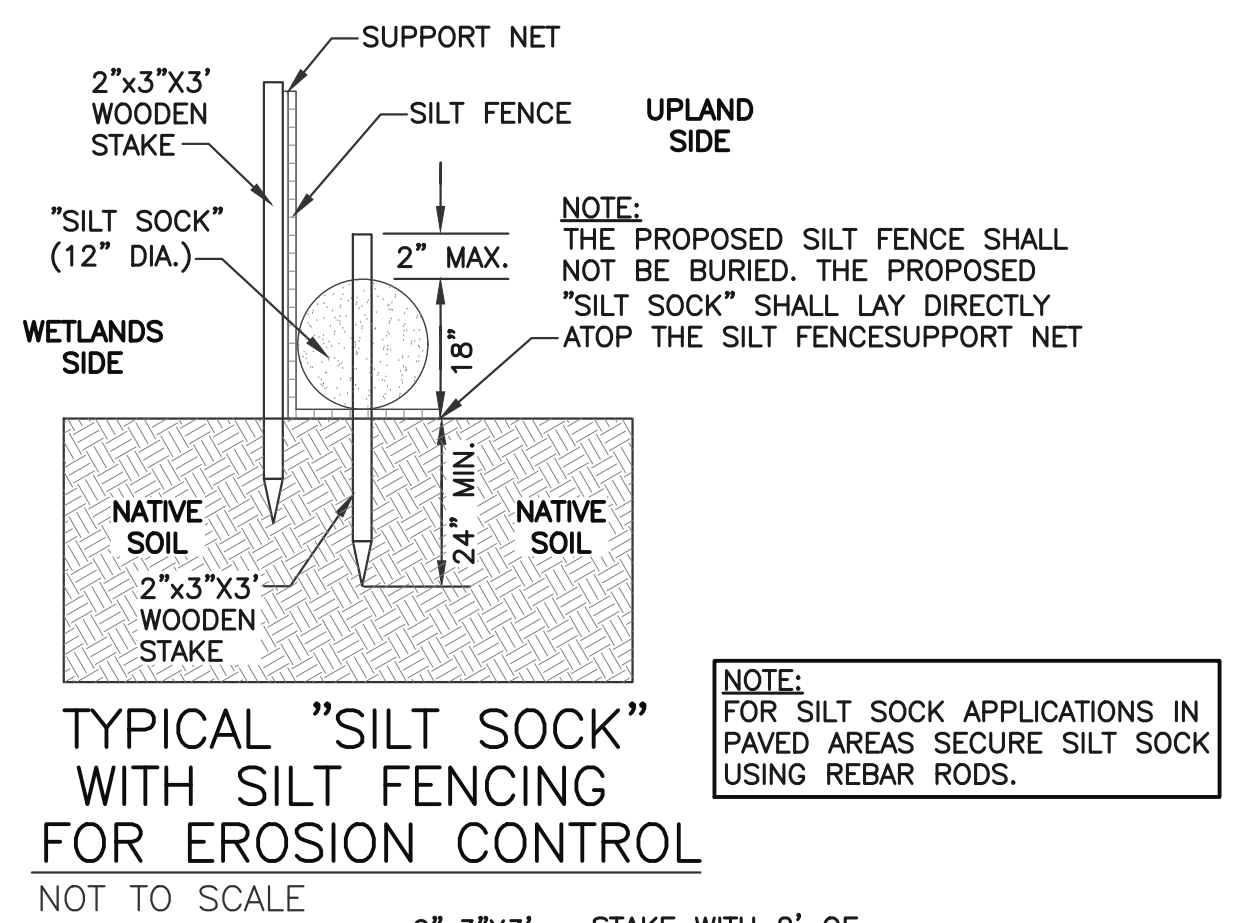
LOW TO MODERATE FLOW GEOTEXTILE FABRIC SPECIFICATION TABLE			
PROPERTIES	TEST METHOD	UNITS	
GRAB TENSILE STRENGTH	ASTM D-4632	300	LBS
GRAB TENSILE ELONGATION	ASTM D-4632	20	%
PUNCTURE	ASTM D-4833	120	LBS
MULLEN BURST	ASTM D-3786	800	PSI
TRAPEZOID TEAR	ASTM D-4533	120	LBS
UV RESISTANCE	ASTM D-4355	80	%
APPARENT OPENING SIZE	ASTM D-4751	40	US SIEVE
FLOW RATE	ASTM D-4491	40	GAL/MIN/SQ FT
PERMITTIVITY	ASTM D-4491	0.55	SEC -1
MODERATE TO HIGH FLOW GEOTEXTILE FABRIC SPECIFICATION TABLE			
PROPERTIES	TEST METHOD	UNITS	
GRAB TENSILE STRENGTH	ASTM D-4632	255	LBS
GRAB TENSILE ELONGATION	ASTM D-4632	20	%
PUNCTURE	ASTM D-4833	135	LBS
MULLEN BURST	ASTM D-3786	420	PSI
TRAPEZOID TEAR	ASTM D-4533	45	LBS
UV RESISTANCE	ASTM D-4355	90	%
APPARENT OPENING SIZE	ASTM D-4751	20	US SIEVE
FLOW RATE	ASTM D-4491	200	GAL/MIN/SQ FT
PERMITTIVITY	ASTM D-4491	1.5	SEC -1

- REMOVE TRAPPED SEDIMENT WHEN BRIGHTLY COLORED EXPANSION RESTRAINT CAN NO LONGER BE SEEN.
- GEOTEXTILE SHALL BE A WOVEN POLYPROPYLENE FABRIC THAT MEETS OR EXCEEDS REQUIREMENTS IN THE SPECIFICATIONS TABLE.
- PLACE AN OIL ADSORBENT PAD OR PILLOW OVER INLET GRATE WHEN OIL SPILLS ARE A CONCERN.
- INSPECT PER REGULATORY REQUIREMENTS.
- THE WIDTH "W" OF THE FILTER SACK SHALL MATCH THE INSIDE WIDTH OF THE GRATED INLET BOX.
- THE DEPTH "D" OF THE FILTER SACK SHALL BE BETWEEN 18 INCHES AND 30 INCHES.
- THE LENGTH "L" OF THE FILTER SACK SHALL MATCH THE INSIDE LENGTH OF THE GRATED INLET BOX.

DO NOT USE IN PAVED AREAS WHERE PONDING MAY CAUSE TRAFFIC HAZARDS.  
TO BE USED IN EXISTING RIGHT OF WAY



CATCH BASIN SILT SACK DETAIL  
NOT TO SCALE

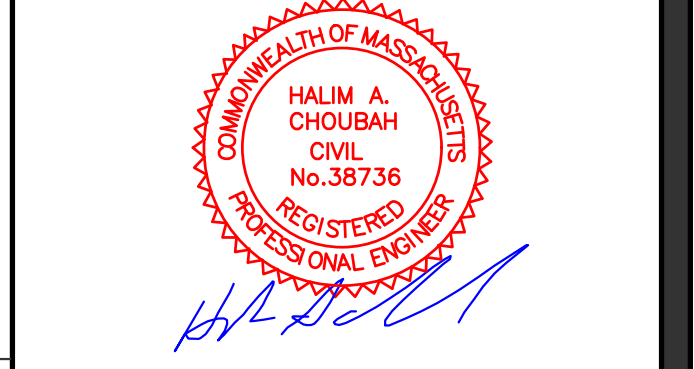


TYPICAL "SILT SOCK" WITH SILT FENCING FOR EROSION CONTROL  
NOT TO SCALE

CHOUBAH ENGINEERING GROUP, P.C.  
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Project:  
**PROPOSED GASOLINE FILLING STATION CONVENIENCE STORE & RESTAURANT/FOOD SERVICE AT 48 & 52 NEW DRIFTWAY SCITUATE, MA**

Prepared For:  
**PETRO REALTY CORP. 4 NORTH STREET, HINGHAM, MA 02043**



Issue Date: 06/23/2020

Revisions		
No.	Date	Description

Project Number: 20-571

Scale: AS SHOWN

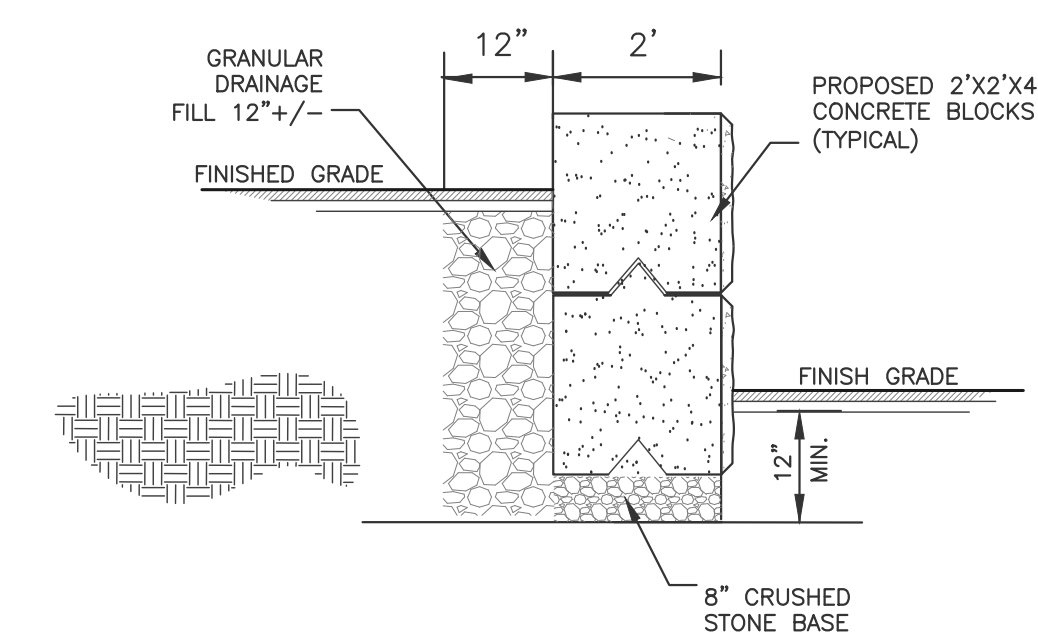
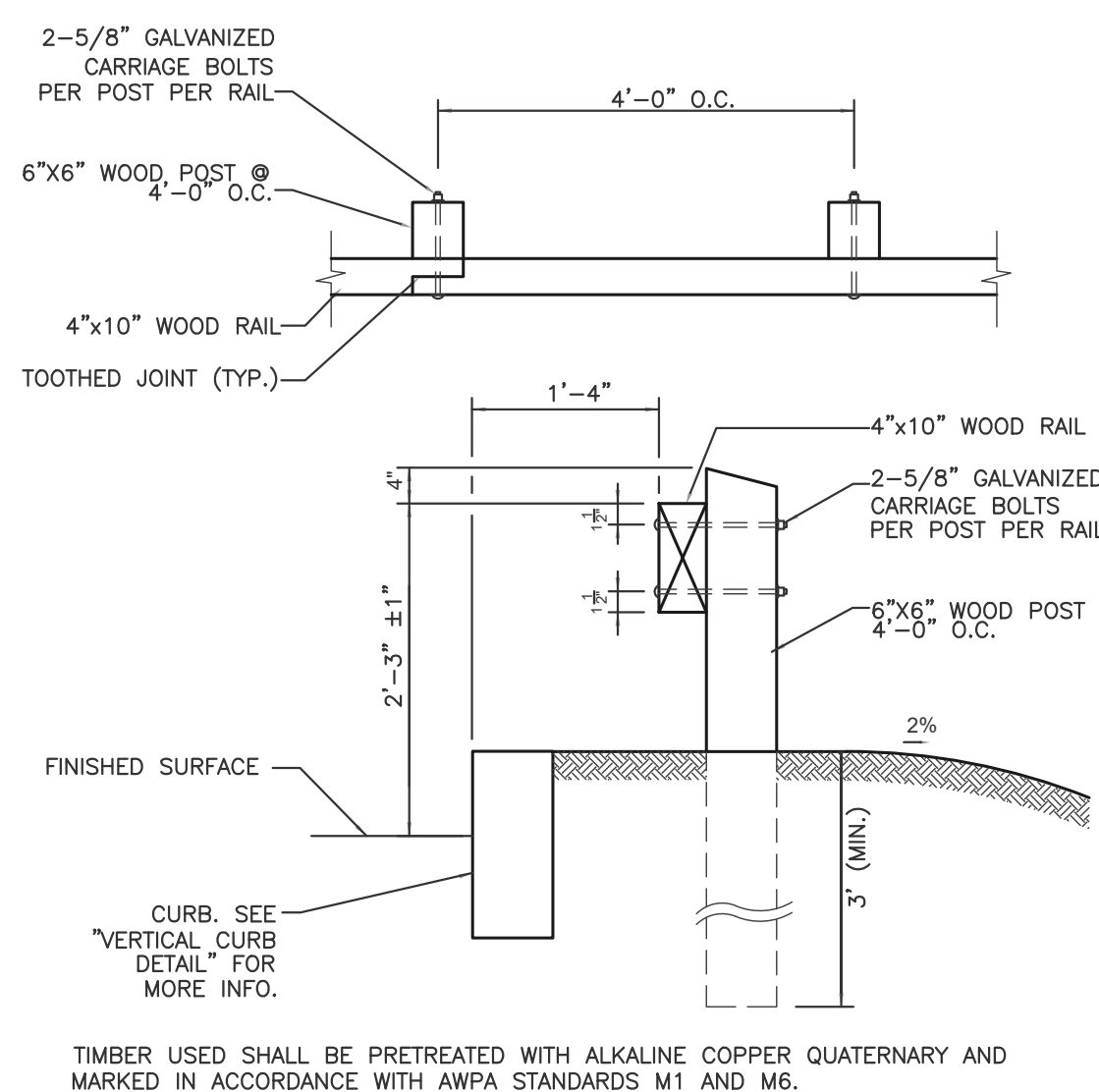
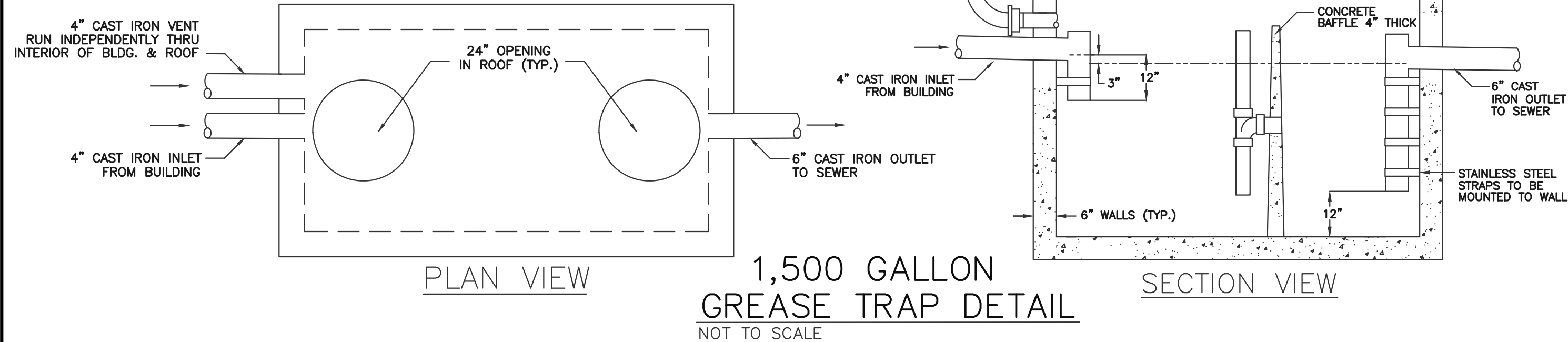
Designed By: CMS

Drawn By: CMS Checked By: HC

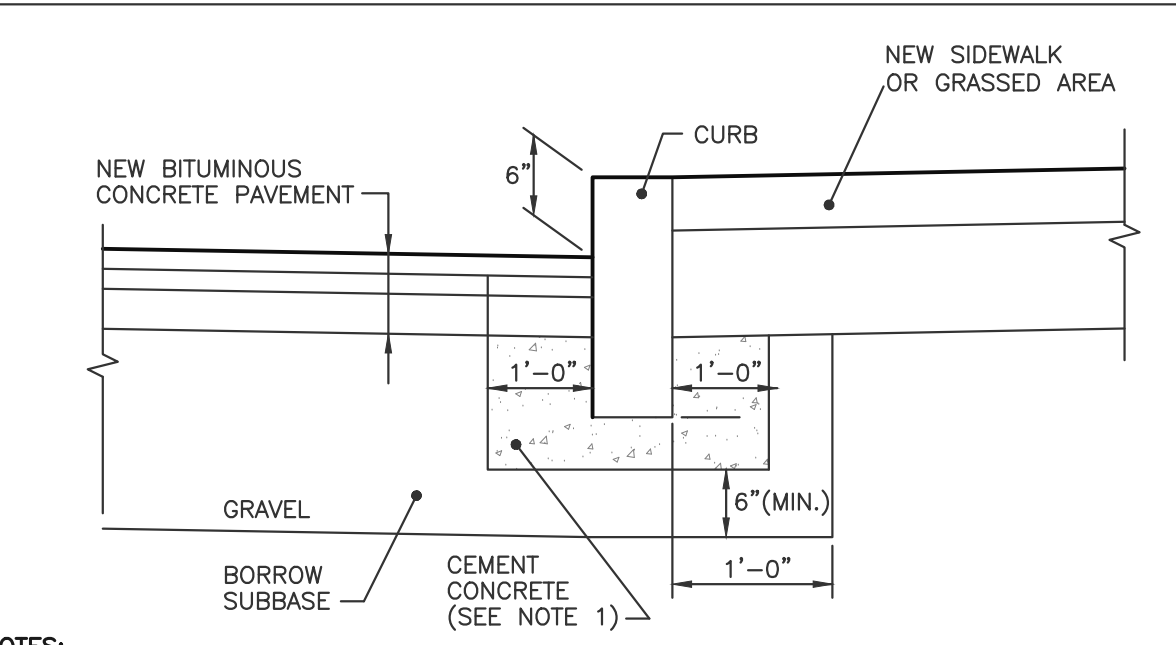
Sheet Title:

**SITE DETAILS #1**

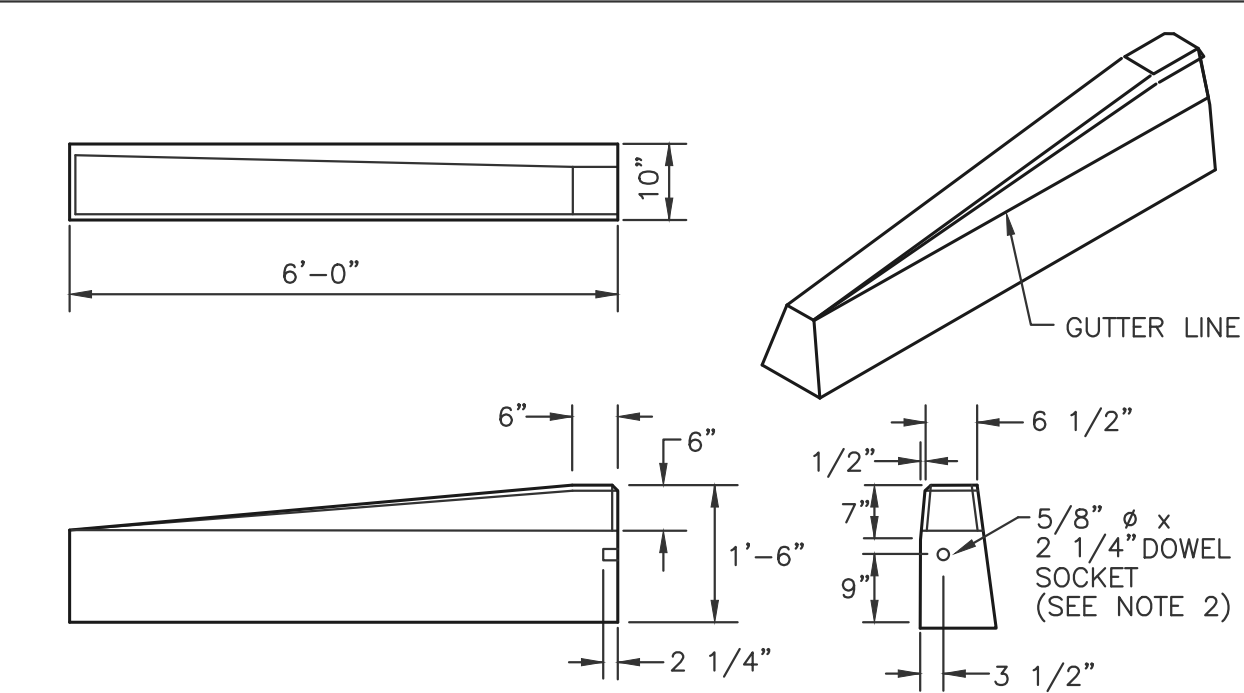
- DESIGN NOTES:**  
 PRECAST GREASE TRAPS 1,500 GALLONS/H2O
- 1.) CONCRETE MINIMUM STRENGTH 5,000 P.S.I. @ 28 DAYS.
  - 2.) STEEL REINFORCEMENT ASTM A-615-79 GRADE 60, 1" MIN. COVER.
  - 3.) DESIGN LOAD PER AASHTO HS-20-44.
  - 4.) EARTH COVER 0 TO 5ft.
  - 5.) WATER TABLE 3.5ft. BELOW FINISH GRADE.
  - 6.) CONSTRUCTION JOINT SEALED WITH 1" DIA. BUTYL RUBBER OR EQUIVALENT
  - 7.) TEES PROVIDED AND INSTALLED BY OTHERS.



TYPICAL CONCRETE RETAINING WALL SECTION  
NOT TO SCALE

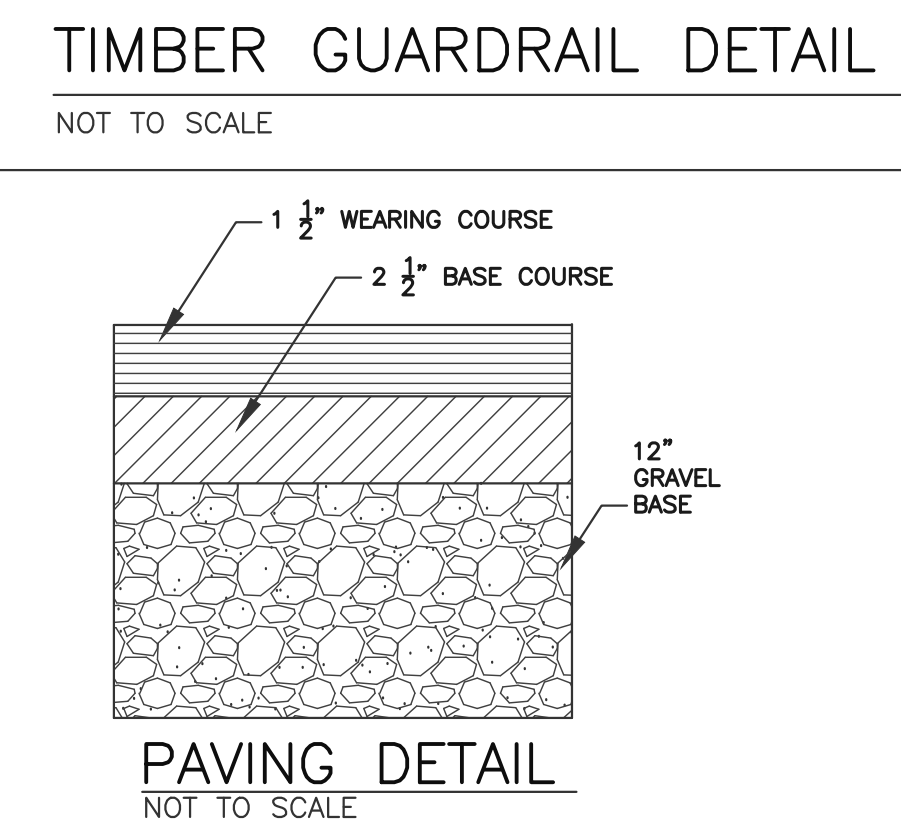


CURB SETTING DETAIL  
NOT TO SCALE

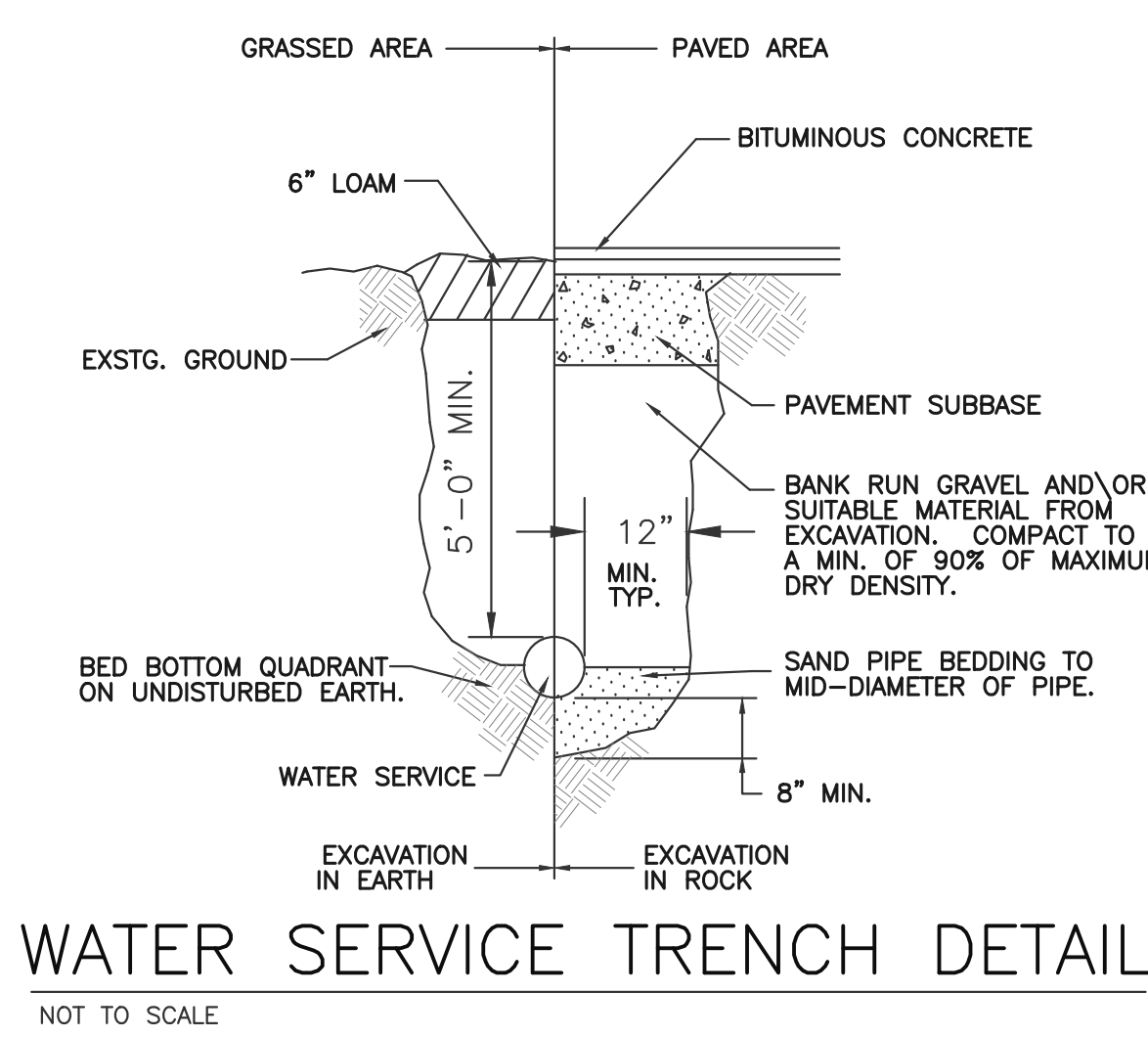


- NOTES:**
1. DRAWING SHOWS TRANSITION CURB FOR ONE DIRECTION. FOR OTHER DIRECTION USE OPPOSITE HAND AND INCLUDE A 1/2" x 4" EPOXY COATED DOWEL.
  2. EXPOSED SURFACES TO HAVE A SPONGE FLOAT FINISH.
  3. EXPOSED EDGES TO HAVE A 3/4" CHAMFER.

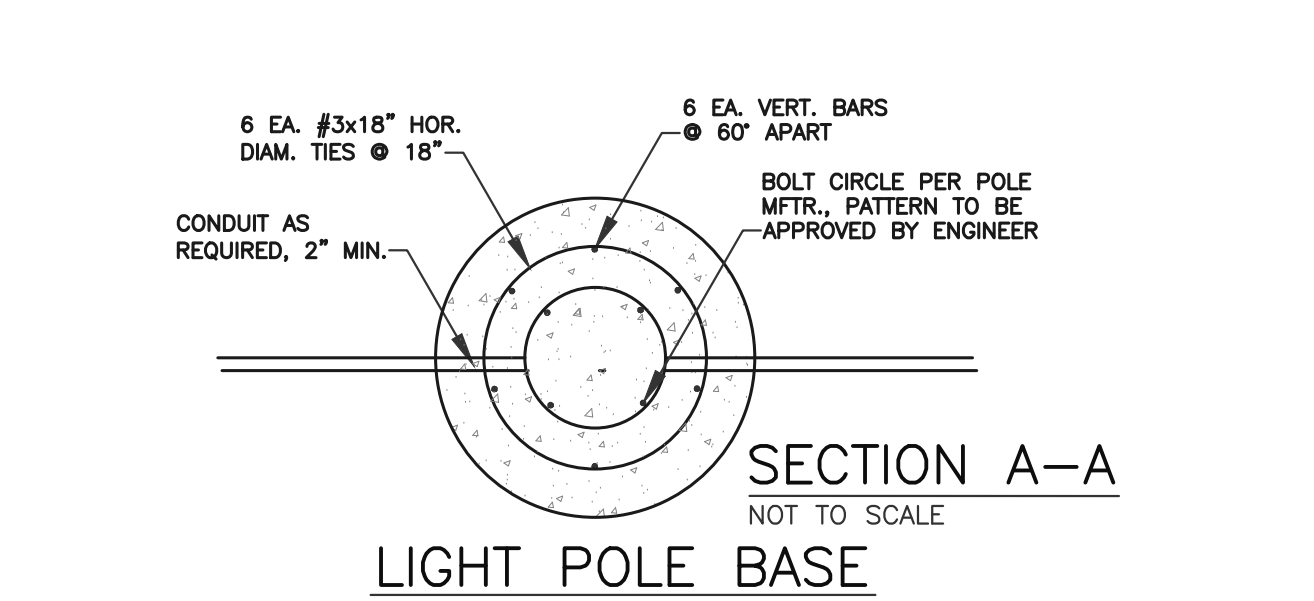
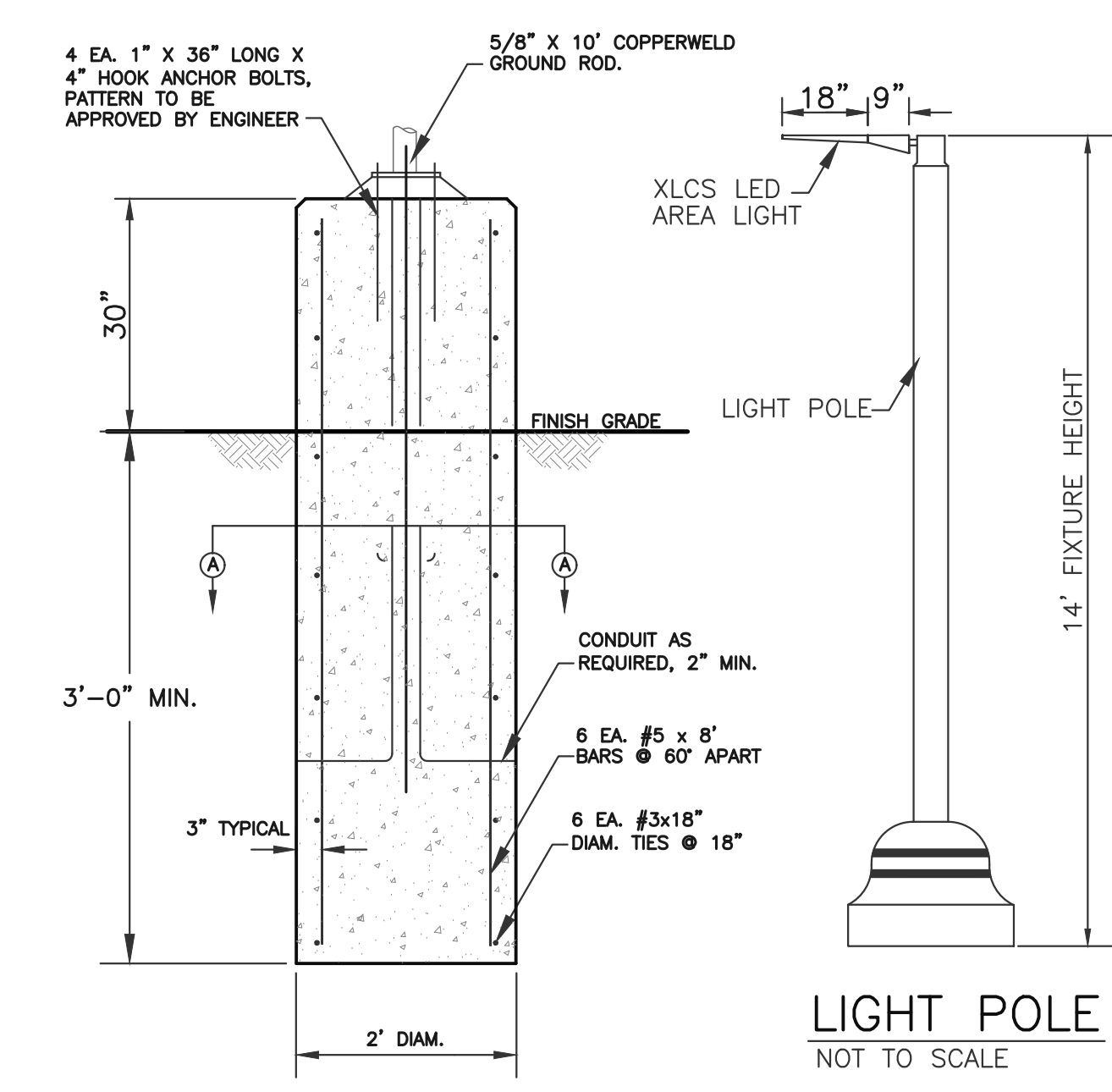
6'-0" GRANITE TRANSITION CURB (TYP)  
NOT TO SCALE



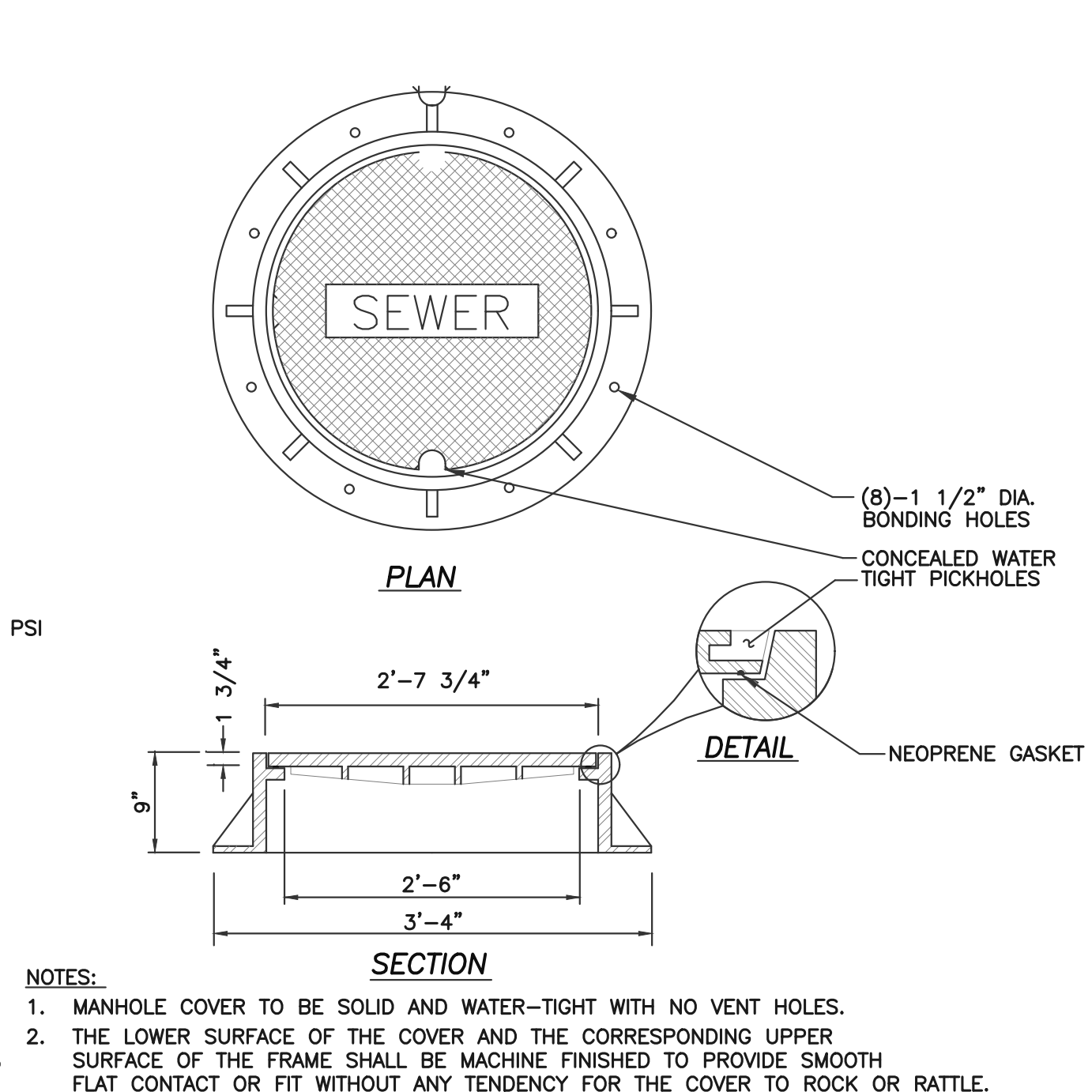
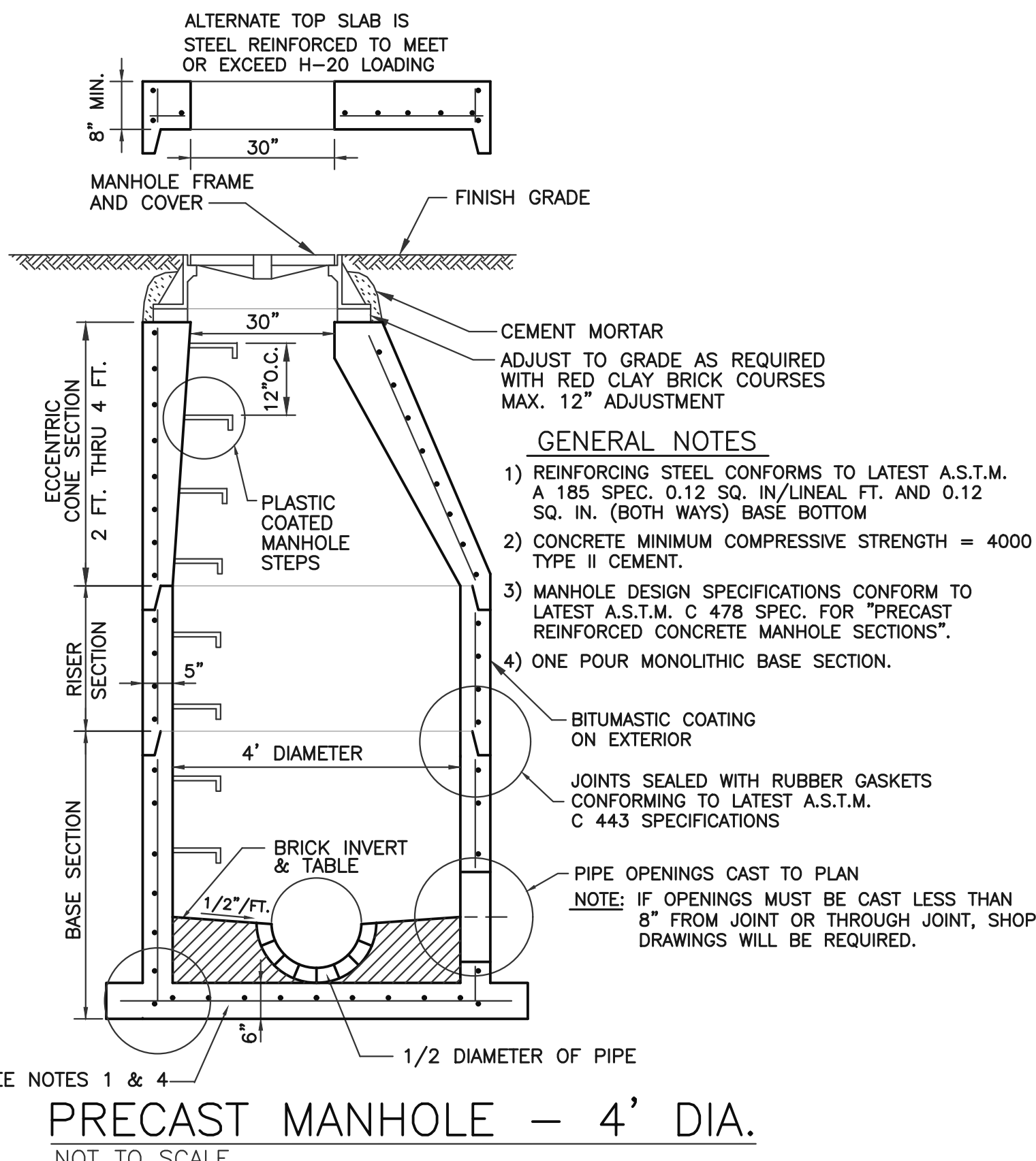
PAVING DETAIL  
NOT TO SCALE



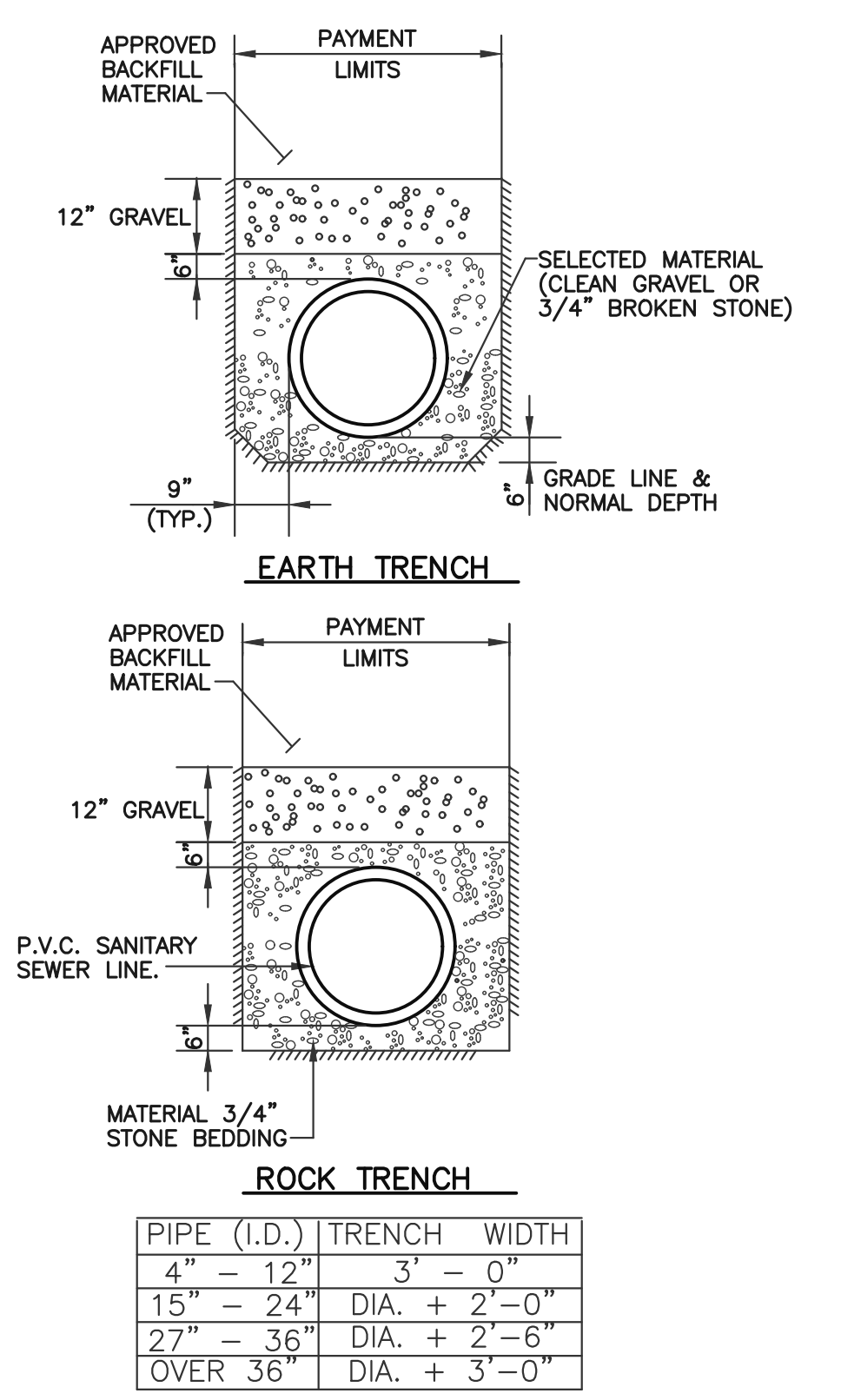
WATER SERVICE TRENCH DETAIL  
NOT TO SCALE



- NOTE:**
1. 4,000 PSI MIN. CONC.
  2. SET ON UNDISTURBED EARTH, MIN. BEARING 2,000 PSF.
  3. UNSUITABLE MATERIAL SHALL BE EXCAVATED AND FILLED WITH 12" CRUSHED STONE.
  4. PRECAST UNIT SHALL BE APPROVED ONLY BY THE ENGINEER UPON SHOP DRAWING REVIEW.



SANITARY SEWER MANHOLE FRAME AND COVER  
NOT TO SCALE



TYPICAL PIPE BEDDING & TRENCH DETAILS  
NOT TO SCALE

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Project:  
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 Prepared For:  
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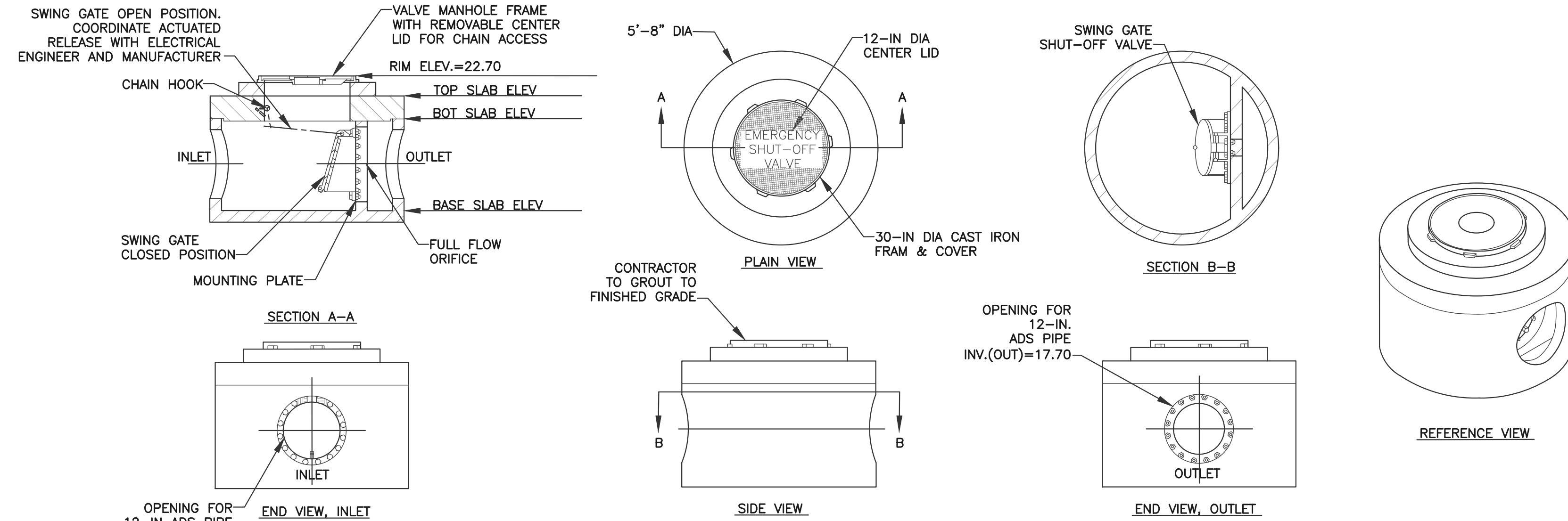


Issue Date: 06/23/2020

Revisions		
No.	Date	Description

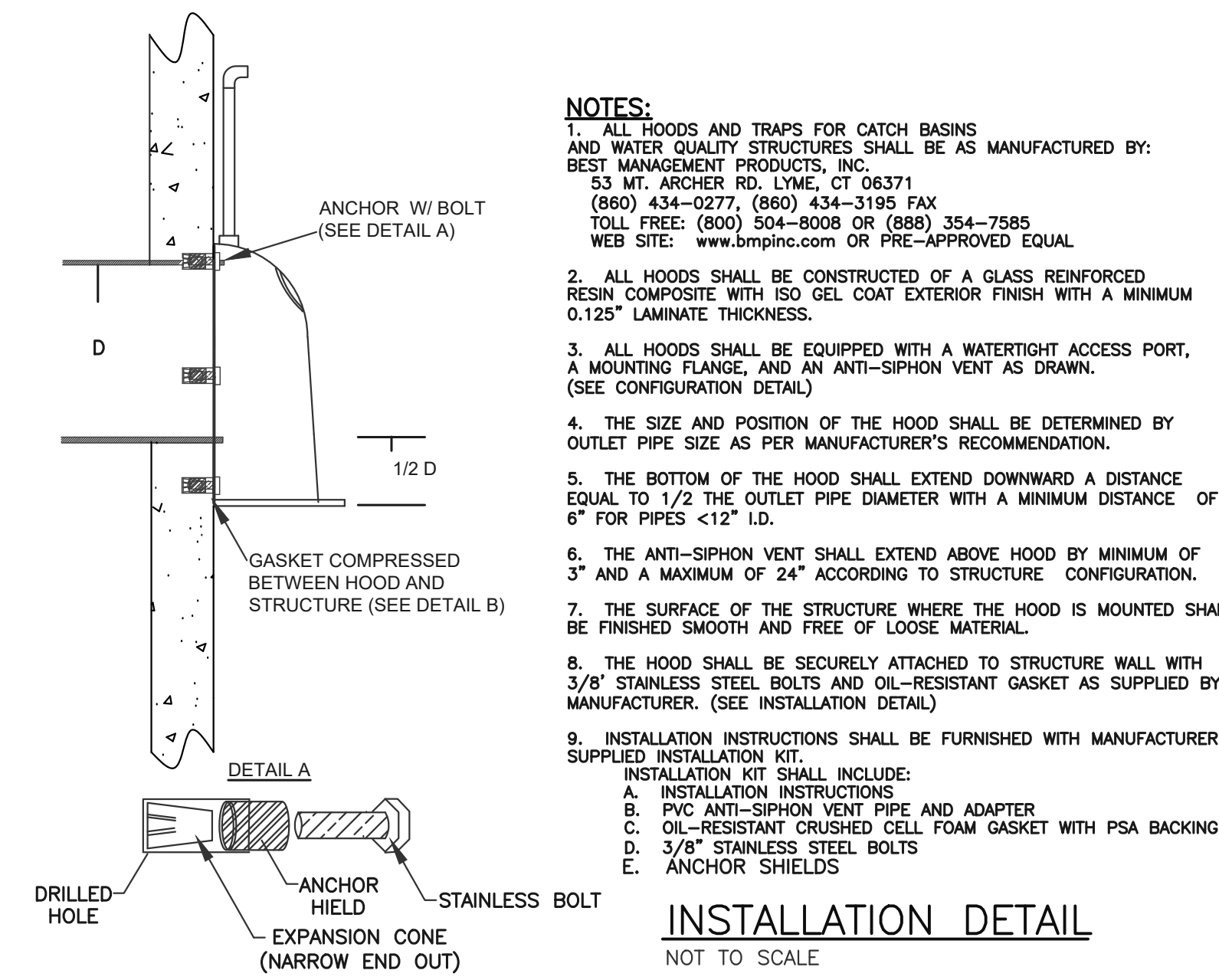
Project Number: 20-571  
 Scale: AS SHOWN  
 Designed By: CMS  
 Drawn By: CMS Checked By: HC  
 Sheet Title:

SITE DETAILS #2  
 Sheet Number: 10 OF 16



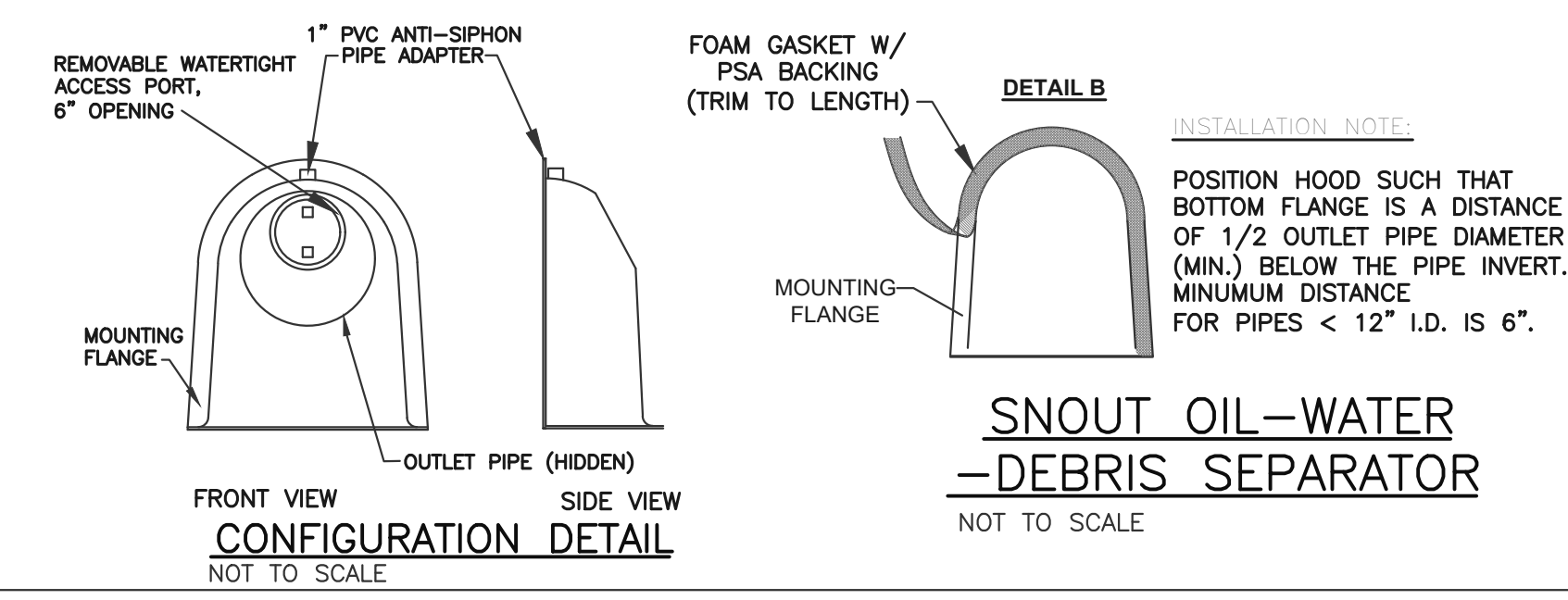
- NOTES(REF):**
- 1.0 WEIGHT ESTIMATE:
    - 1.1 COVER 1,500-LB
    - 1.2 BASE ASSEMBLY: 5,000-LB
  - 2.0 MATERIALS MEET OR EXCEEDS REQUIREMENTS:
    - 2.1 VAULT:
      - 2.1.1 REINFORCEMENT STEEL: REBAR, ASTM A-615 GRADE 60
      - 2.1.2 CEMENT: ASTM C-150 SPECIFICATIONS CONCRETE 28 DAY COMPRESSIVE STRENGTH SHALL BE 5,000 PSI (MIN)
    - 2.2 ACCESS MANHOLES ASTM-A-48, CLASS 35B GRAY IRON OR ASTM A536, GRADE 80-55-06 DUCTILE IRON
    - 3.0 CONCRETE STRUCTURE DESIGN LOADINGS:
      - 3.1 AASHTO HS-20 LOAD RATING
      - 3.2 SOIL WEIGHT = 120 PCF
      - 3.3 DEPTH OF OVERBURDEN: <5-FT
      - 3.4 EQUIVALENT FLUID PRESSURE = 40 PCF
      - 3.5 LATERAL LIVE LOAD SURCHARGE PER SPECS
    - 4.0 SWING GATE SHUT-OFF VALVE:
      - 4.1 MANUALLY OPERATED, NORMALLY CLOSED, SWING GATE
      - 4.2 ELASTOMER FACE SEAL
      - 4.3 STAINLESS STEEL CONSTRUCTION
    - 5.0 EAST JORDAN IRON WORKS (EJIW) OR EQUAL UTILITY CONSTRUCTION CASTINGS ARE RATED FOR REPEATED VEHICULAR TRAFFIC AND CONFORM TO AASHTO M306 STANDARDS. FINAL MANHOLE OR ACCESS HATCH INSTALLATION, AND ADJUSTMENT TO GRADE, SHALL BE PERFORMED BY QUALIFIED PERSONNEL.
    - 6.0 OFF-LOADING, EXCAVATION, DEWATERING, DRAINAGE FILL, AND BACK-FILL OPERATIONS SHALL BE PERFORMED IN ACCORDANCE WITH OSHA AND LOCAL REGULATIONS AND ARE THE RESPONSIBILITY OF THE CONTRACTOR. SUB-BASE AND BACKFILL DEPTH ARE SITE SPECIFIC AND SHALL BE SPECIFIED BY THE ENGINEER OF RECORD.
    - 7.0 THE CONTRACTOR SHALL VERIFY THAT THE UNIT IS VERTICALLY AND HORIZONTALLY PLUMB AND STABLE, WITH MINIMUM VOIDS AND MINIMUM UN-COMPACTED SOIL AFTER BACK-FILL OPERATION.
    - 8.0 CONNECT EXISTING DRAIN LINE TO THE STORM LOCKOUT VALVE INLET AND OUTLET PORTS WITH APPROVED NON-SHRINKING GROUT-FILL IN ACCORDANCE WITH GROUT MANUFACTURERS INSTRUCTIONS. ALL GROUT-FILL MATERIALS SHALL BE SUPPLIED BY THE CONTRACTOR. THE STORM LOCKOUT VAULT "INLET" AND "OUTLET" PORTS ARE CLEARLY LABELED WITH BLK PAINT. INLET AND OUTLET DRAIN LINES ARE TO BE ALIGNED FLUSH WITH RESPECT TO THE INTERIOR VAULT WALLS.

**EMERGENCY SHUT OFF VALVE DETAIL & NOTES**  
NOT TO SCALE

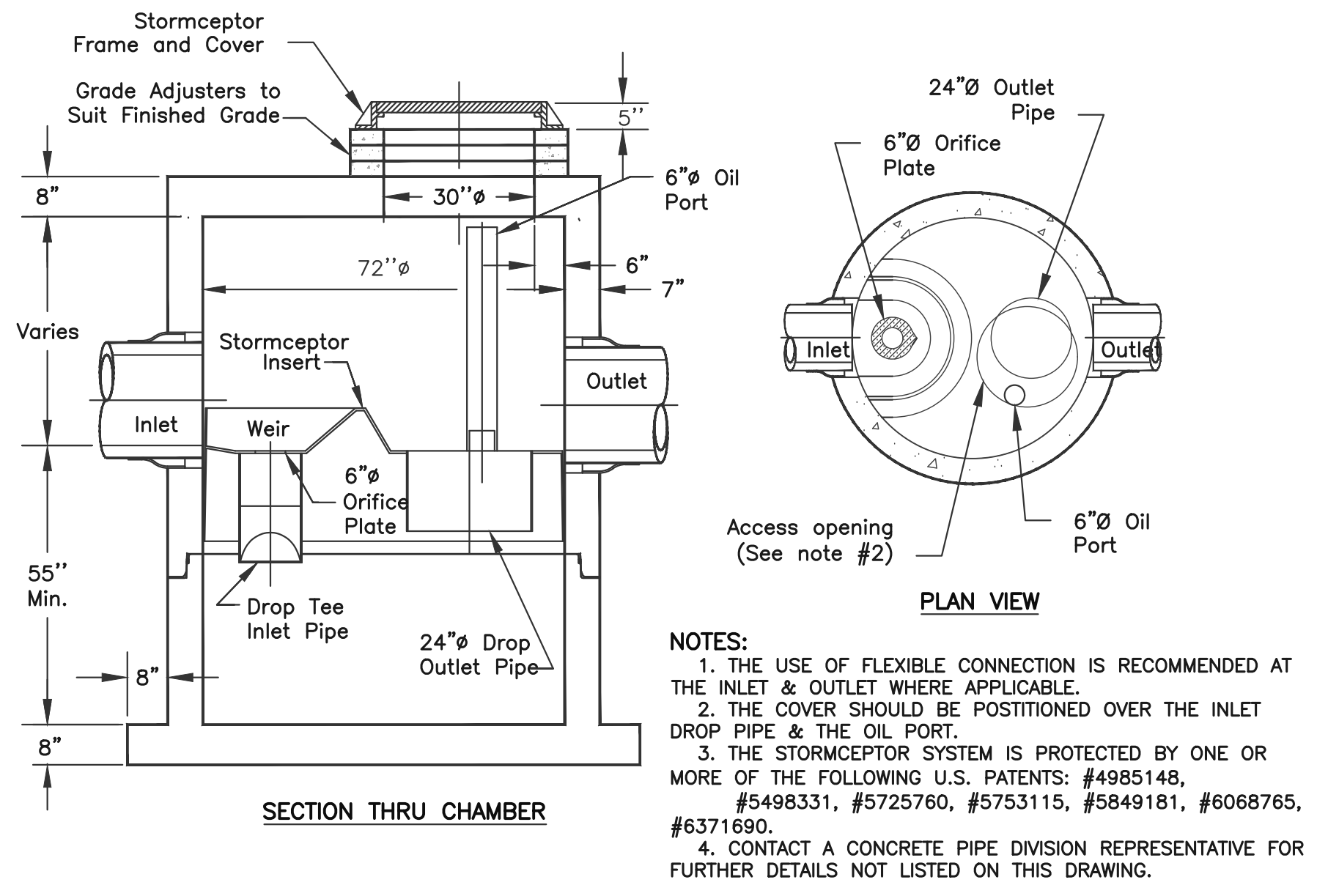


- NOTES:**
1. ALL HOODS AND TRAPS FOR CATCH BASINS AND WATER QUALITY STRUCTURES SHALL BE AS MANUFACTURED BY: BEST MANAGEMENT PRODUCTS, INC., 53 MT. ARCHER RD., LYME, CT 06371 (860) 434-0277, (860) 434-3195 FAX TOLL FREE: (800) 504-8008 OR (888) 354-7585 WEB SITE: www.bmprod.com OR PRE-APPROVED EQUAL
  2. ALL HOODS SHALL BE CONSTRUCTED OF A GLASS REINFORCED RESIN COMPOSITE WITH ISO GEL COAT EXTERIOR FINISH WITH A MINIMUM 0.125" LAMINATE THICKNESS.
  3. ALL HOODS SHALL BE EQUIPPED WITH A WATERTIGHT ACCESS PORT, A MOUNTING FLANGE, AND AN ANTI-SIPHON VENT AS DRAWN. (SEE CONFIGURATION DETAIL)
  4. THE SIZE AND POSITION OF THE HOOD SHALL BE DETERMINED BY OUTLET PIPE SIZE AS PER MANUFACTURER'S RECOMMENDATION.
  5. THE BOTTOM OF THE HOOD SHALL EXTEND DOWNWARD A DISTANCE EQUAL TO 1/2 THE OUTLET PIPE DIAMETER WITH A MINIMUM DISTANCE OF 6" FOR PIPES <12" I.D.
  6. THE ANTI-SIPHON VENT SHALL EXTEND ABOVE HOOD BY MINIMUM OF 3" AND A MAXIMUM OF 24" ACCORDING TO STRUCTURE CONFIGURATION.
  7. THE SURFACE OF THE STRUCTURE WHERE THE HOOD IS MOUNTED SHALL BE FINISHED SMOOTH AND FREE OF LOOSE MATERIAL.
  8. THE HOOD SHALL BE SECURELY ATTACHED TO STRUCTURE WALL WITH 3/8" STAINLESS STEEL BOLTS AND OIL-RESISTANT GASKET AS SUPPLIED BY MANUFACTURER. (SEE INSTALLATION DETAIL)
  9. INSTALLATION INSTRUCTIONS SHALL BE FURNISHED WITH MANUFACTURER SUPPLIED INSTALLATION KIT.  
INSTALLATION KIT SHALL INCLUDE:
    - A. INSTALLATION INSTRUCTIONS
    - B. PVC ANTI-SIPHON VENT PIPE AND ADAPTER
    - C. OIL-RESISTANT CRUSHED CELL FOAM GASKET WITH PSA BACKING
    - D. 3/8" STAINLESS STEEL BOLTS
    - E. ANCHOR SHIELDS

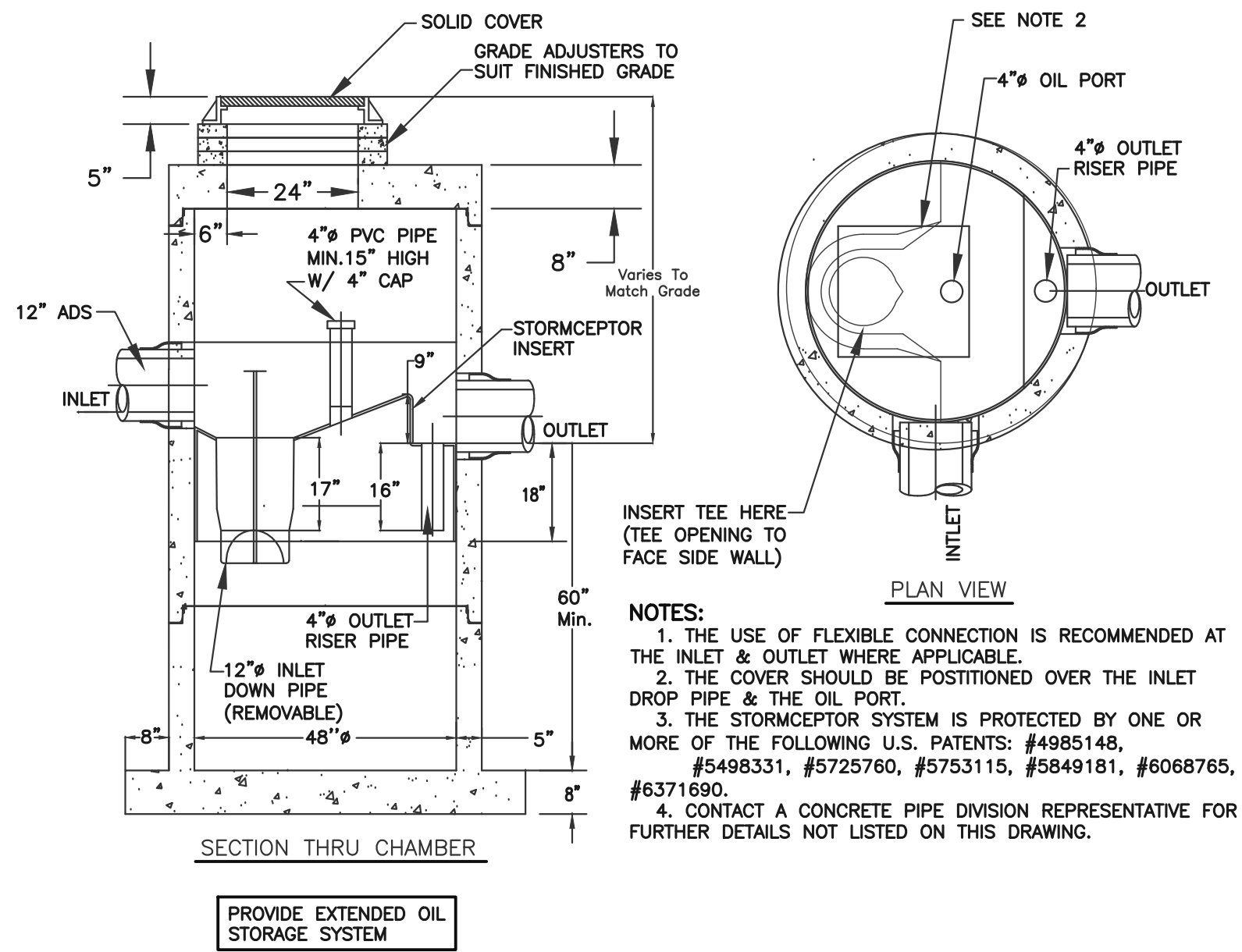
**INSTALLATION DETAIL**  
NOT TO SCALE



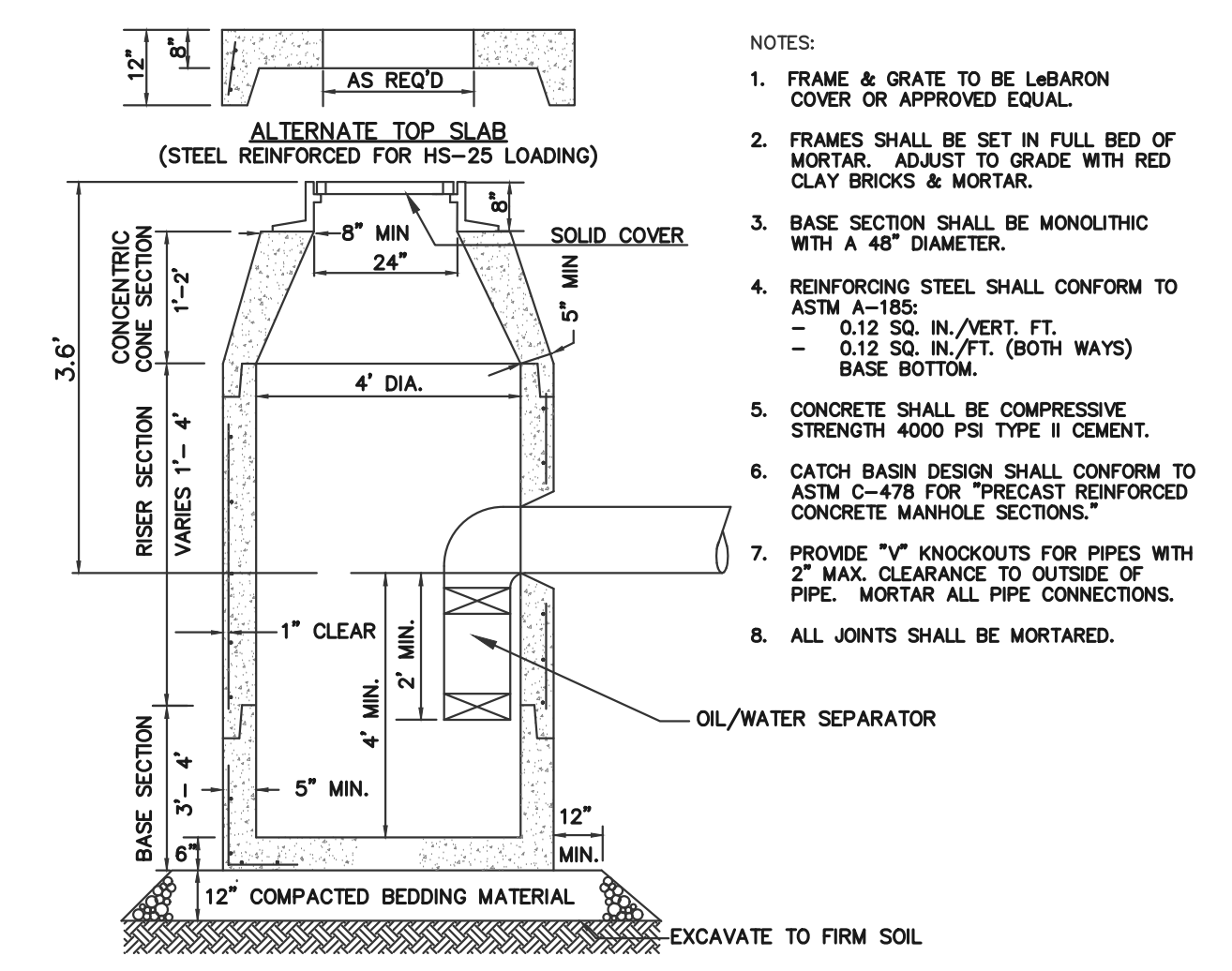
**SNOUT OIL-WATER -DEBRIS SEPARATOR**  
NOT TO SCALE



**STC 900 PRECAST CONCRETE STORMCEPTOR (900 GALLONS CAPACITY)**  
NOT TO SCALE



**STC 450i PRECAST CONCRETE STORMCEPTOR (EXTENDED OIL SYSTEM)**  
NOT TO SCALE



**PRECAST 4' DIA. DEEP SUMP DRAINAGE MANHOLE WITH OIL/WATER SEPARATOR**  
NOT TO SCALE

Issue Date: 06/23/2020

Revisions		
No.	Date	Description

Project Number: 20-571

Scale: AS SHOWN

Designed By: CMS

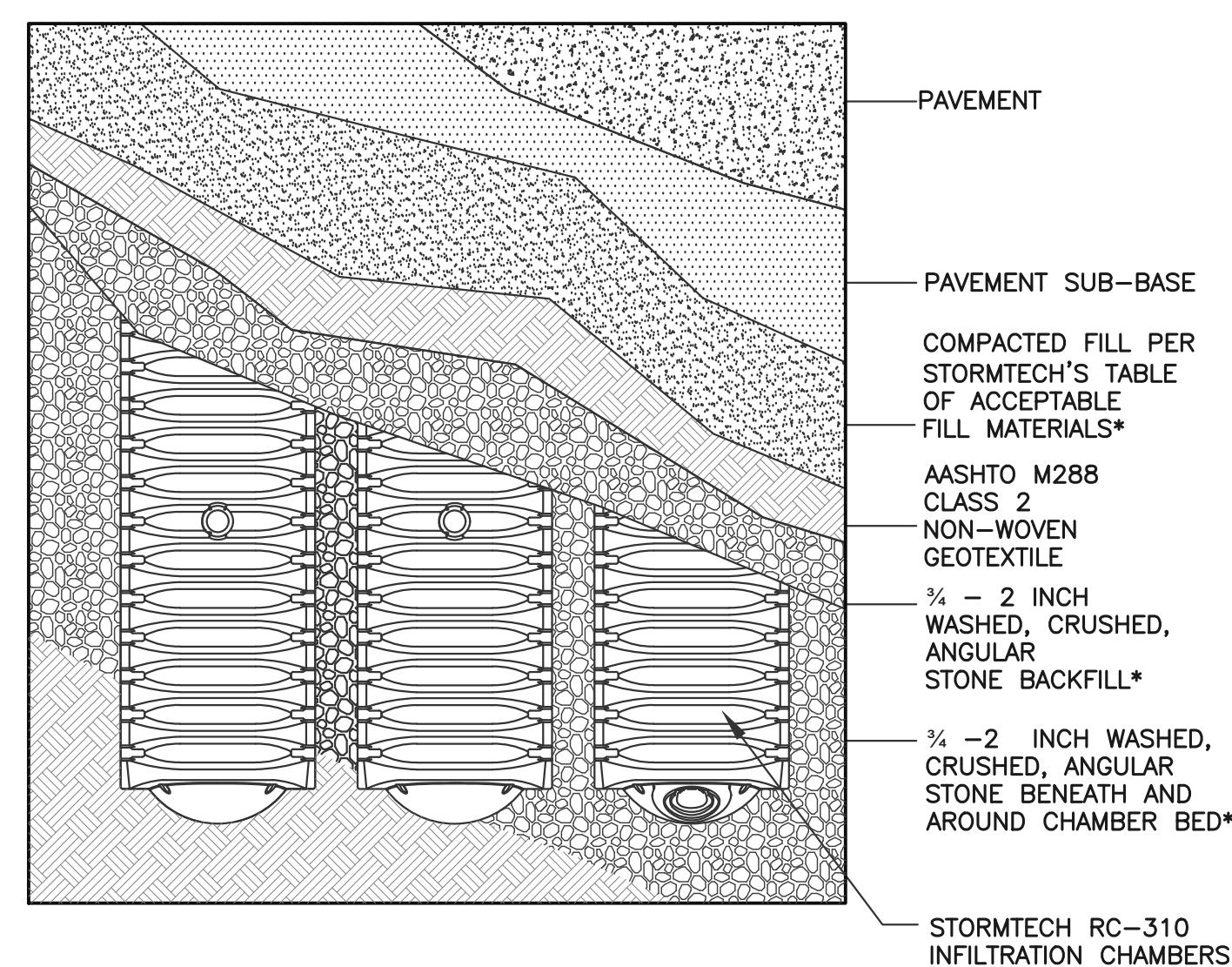
Drawn By: CMS      Checked By: HC

Sheet Title:

SITE DETAILS #3

Project:  
**PROPOSED GASOLINE FILLING STATION CONVENIENCE STORE & RESTAURANT/FOOD SERVICE AT 48 & 52 NEW DRIFTWAY SCITUATE, MA**

Prepared For:  
**PETRO REALTY CORP.  
 4 NORTH STREET,  
 HINGHAM, MA 02043**

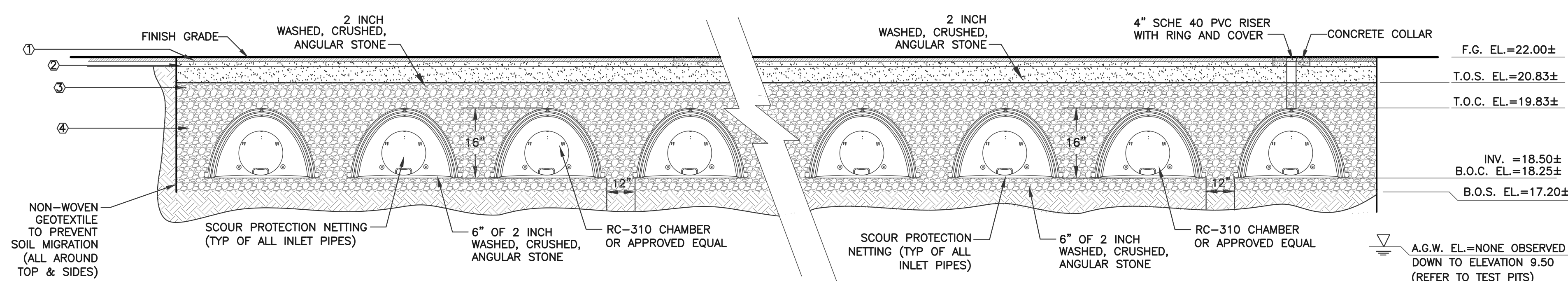


**STORMTECH RC-310 SYSTEM (PLAN VIEW DETAIL)**

NOT TO SCALE

**LEGEND**  
 F.G. = FINISHED GRADE  
 T.O.S. = TOP OF STONE  
 T.O.C. = TOP OF CHAMBER  
 INV. EL. = INVERT ELEVATION  
 B.O.C. = BOTTOM OF CHAMBER  
 B.O.S. = BOTTOM OF SYSTEM  
 = GROUNDWATER ELEVATION

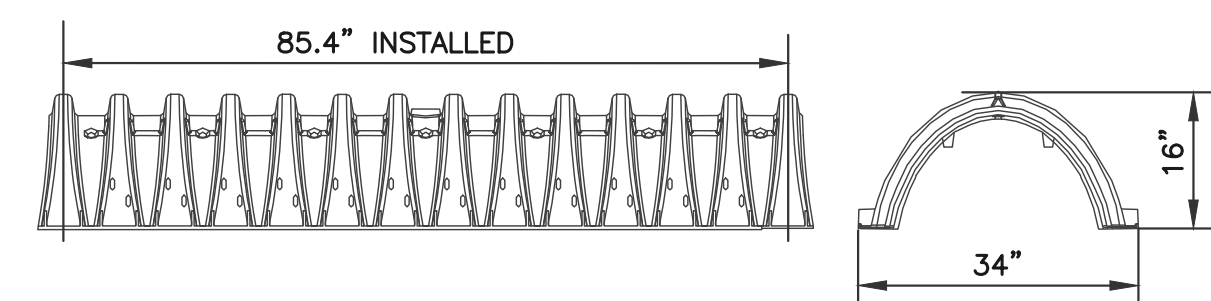
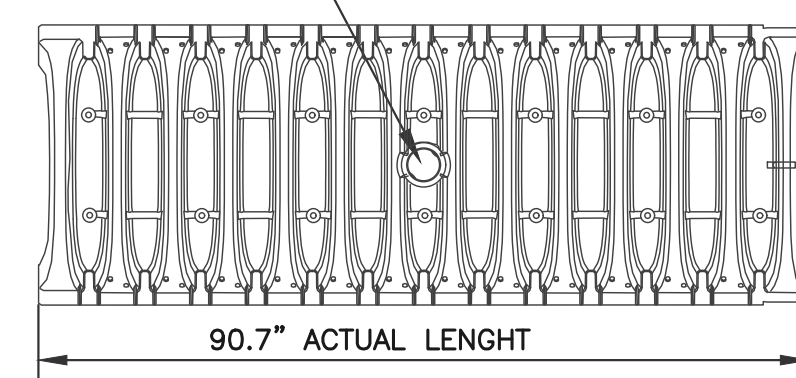
**KEY** :  
 1. FLEXIBLE PAVEMENT  
 2. GRANULAR ROAD BASE  
 3. WELL GRADED GRANULAR FILL, COMPACTED TO MIN. 90% STANDARD DENSITY PER AASHTO T99.  
 4. FREE DRAINING ANGULAR WASHED STONE 3/4\"-2\" PARTICLE SIZE, COMPACTED TO MIN. 90% STANDARD DENSITY PER AASHTO T99.



**SECTION A-A**

NOT TO SCALE

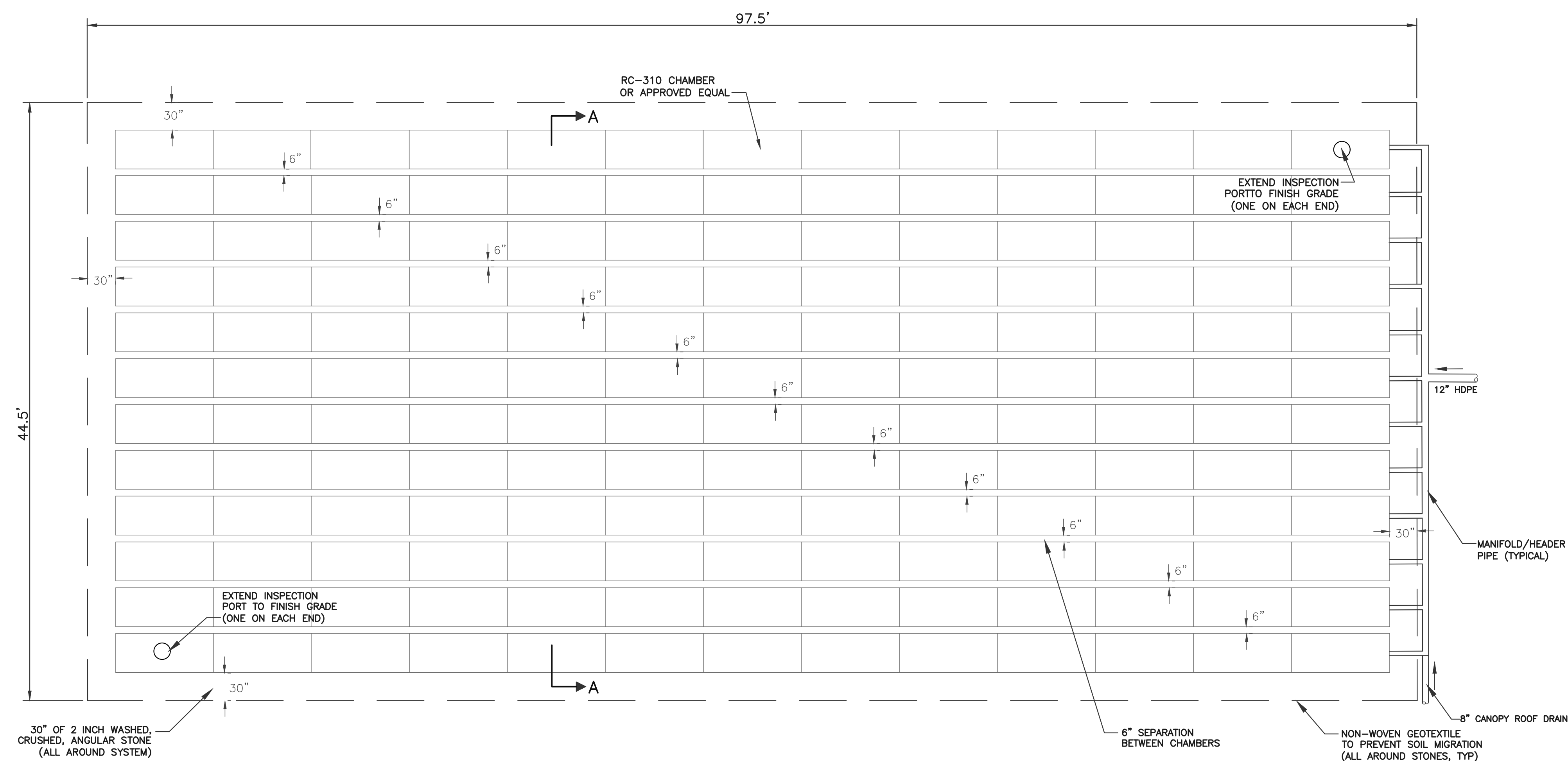
ACCEPTS 4\" SCH 40 PIPE FOR CLEANOUT OR INSPECTION PORT



NOMINAL CHAMBER SPECIFICATIONS	
SIZE (W x H x INSTALLED LENGTH)	34.0\" x 16.0\" x 85.4\"
CHAMBER STORAGE	14.7 CUBIC FEET
MINIMUM INSTALLED STORAGE	31.0 CUBIC FEET
WEIGHT	37 LBS.

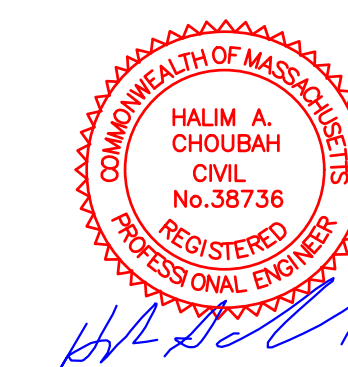
**STORMTECH RC-310 CHAMBERS**

NOT TO SCALE



**SYSTEM #2 (156) STORMTECH RC-310 UNDERGROUND LEACHING CHAMBER SYSTEM**

NOT TO SCALE



Issue Date: 06/23/2020

Revisions		
No.	Date	Description
1	07/24/2020	Revised Plans

Project Number: 20-571

Scale: AS SHOWN

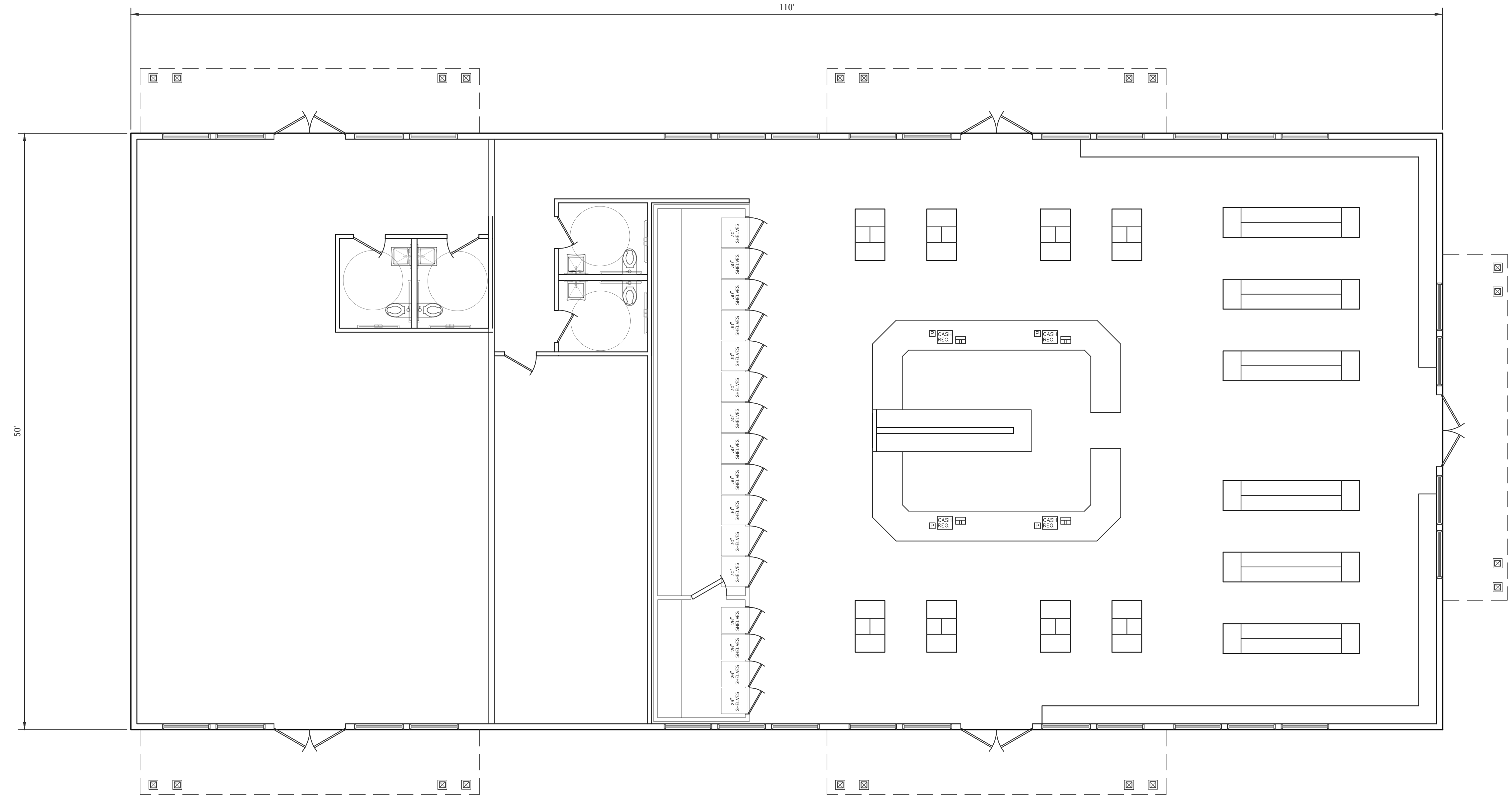
Designed By: CMS

Drawn By: CMS

Checked By: HC

Sheet Title:

SITE DETAILS #4



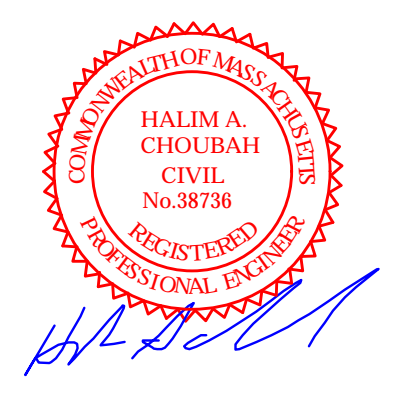
**PROPOSED FLOOR LAYOUT**  
 SCALE: 3/16" = 1'-0"

Choubah Engineering Group, p.c.  
**CEG**  
 Consulting Professional Engineers

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Project:  
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Prepared For:  
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Issue Date: 06/23/2020

Revisions		
No.	Date	Description

Project Number: 20-571

Scale: AS SHOWN

Designed By: CMS

Drawn By: CMS

Checked By: HC

Sheet Title:  
**FLOOR LAYOUT**

Project:

PROPOSED GASOLINE  
 FILLING STATION  
 CONVENIENCE STORE  
 & RESTAURANT/  
 FOOD SERVICE AT  
 48 & 52 NEW DRIFTWAY  
 SCITUATE, MA

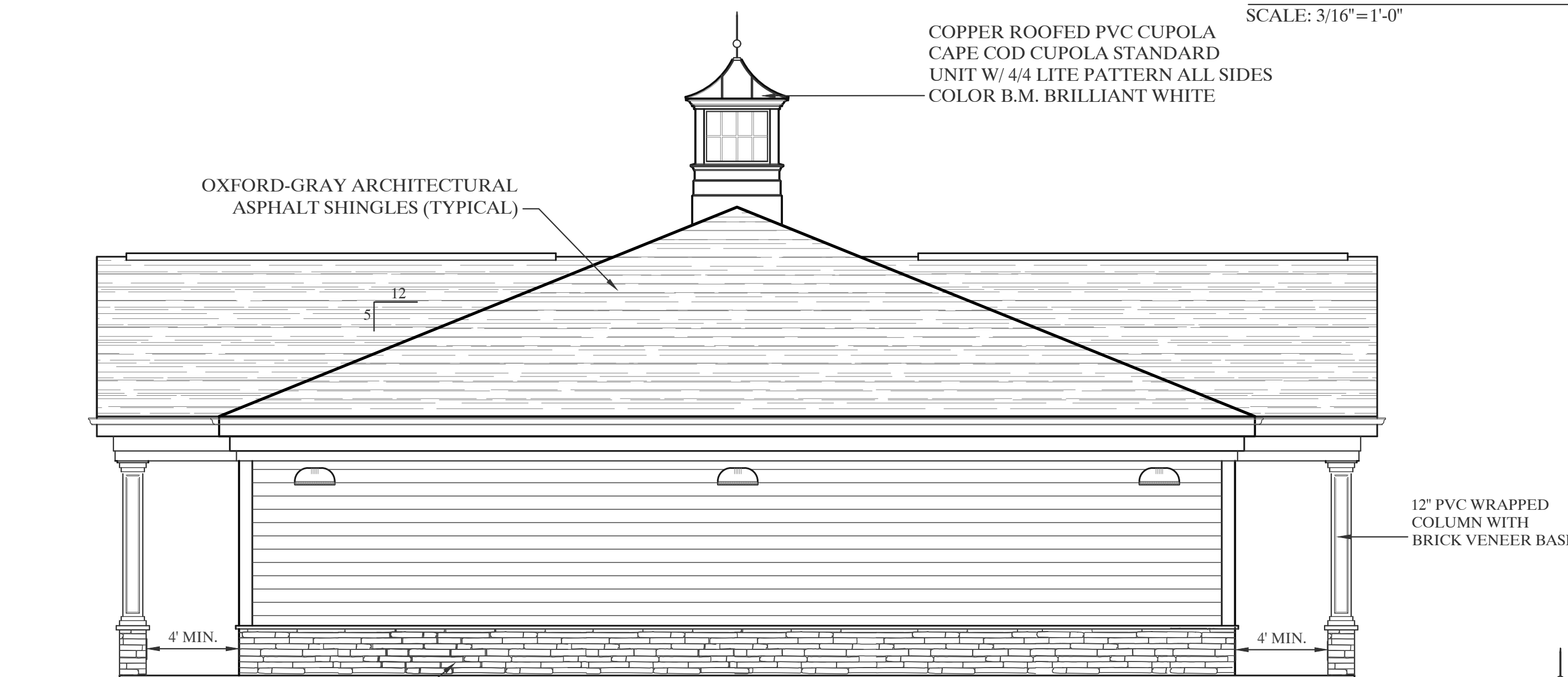
Prepared For:

PETRO REALTY CORP.  
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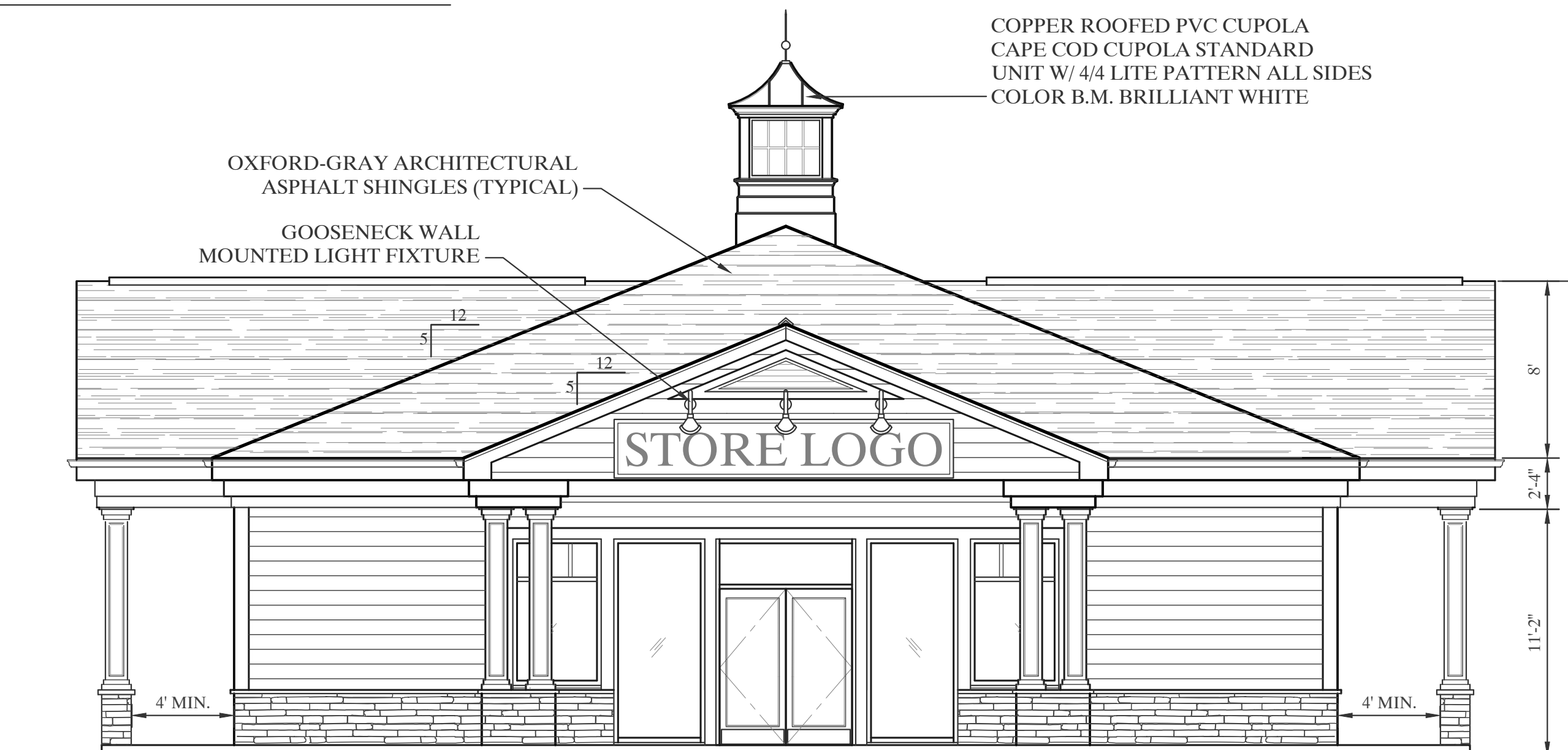
**PROPOSED NEW DRIFTWAY ELEVATION**

SCALE: 3/16"=1'-0"



**PROPOSED LEFT SIDE ELEVATION**

SCALE: 3/16"=1'-0"



**PROPOSED RIGHT SIDE ELEVATION**

SCALE: 3/16"=1'-0"



**PROPOSED REAR ELEVATION**

SCALE: 3/16"=1'-0"

Issue Date: 06/23/2020

Revisions		
No.	Date	Description

Project Number: 20-571

Scale: AS SHOWN

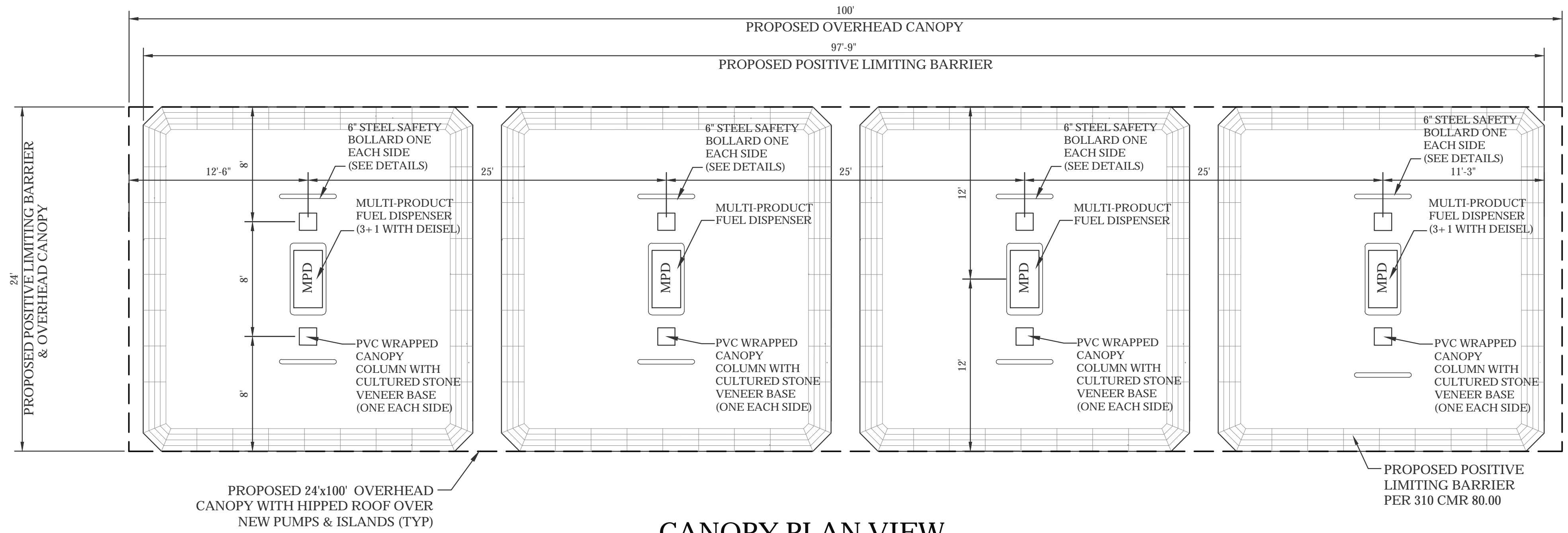
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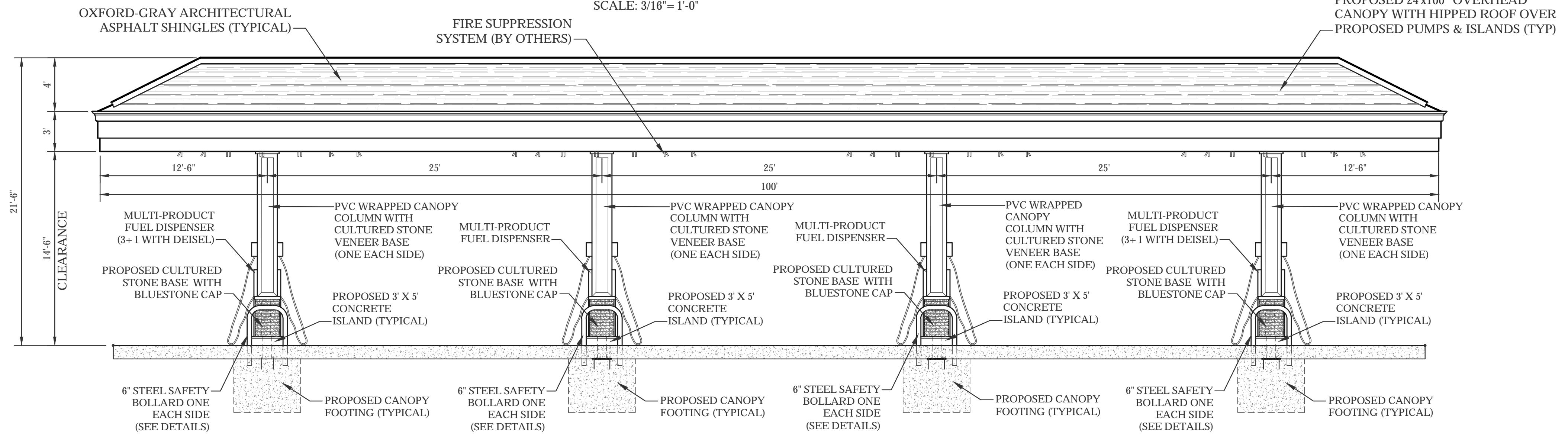
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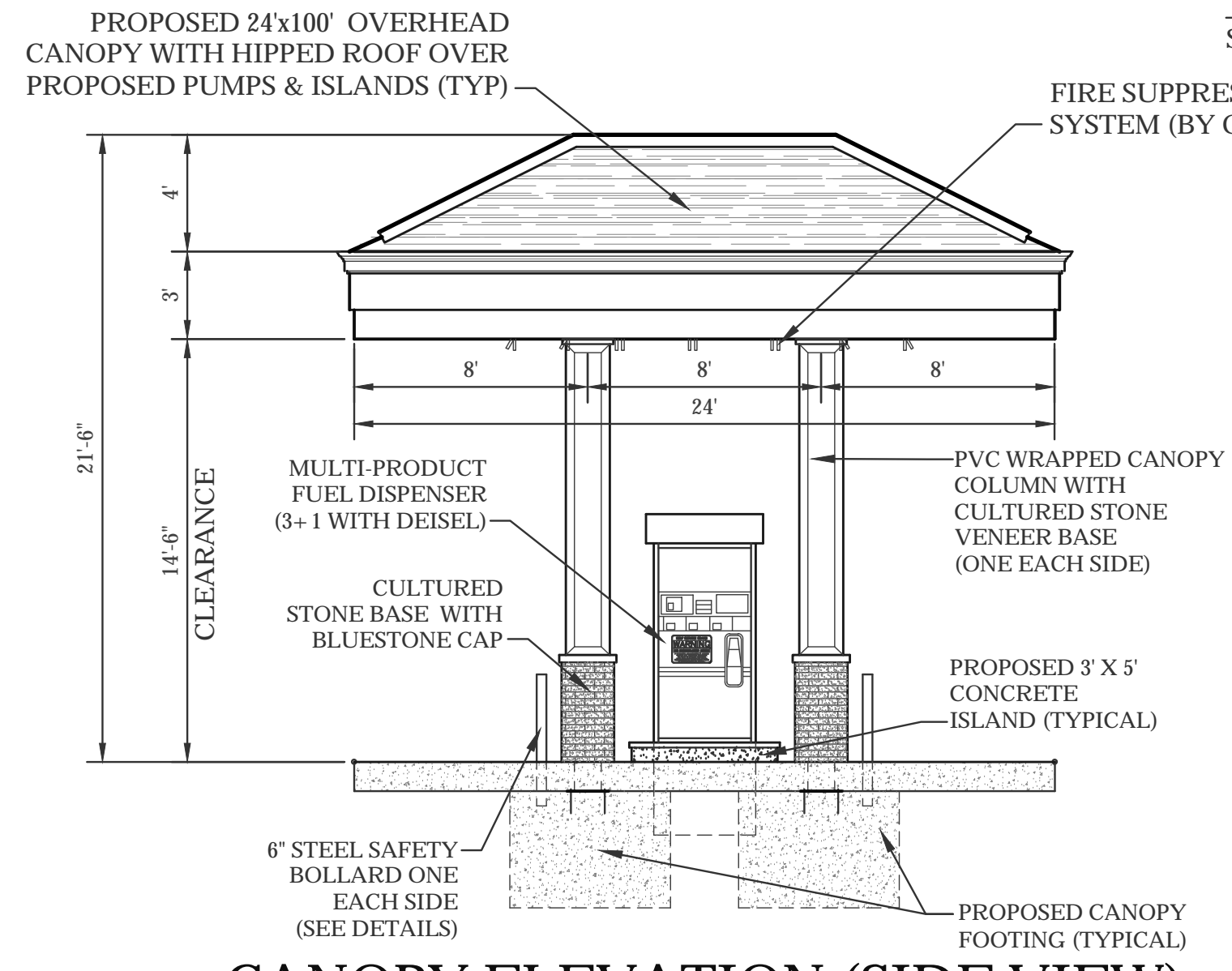
**BUILDING ELEVATIONS**



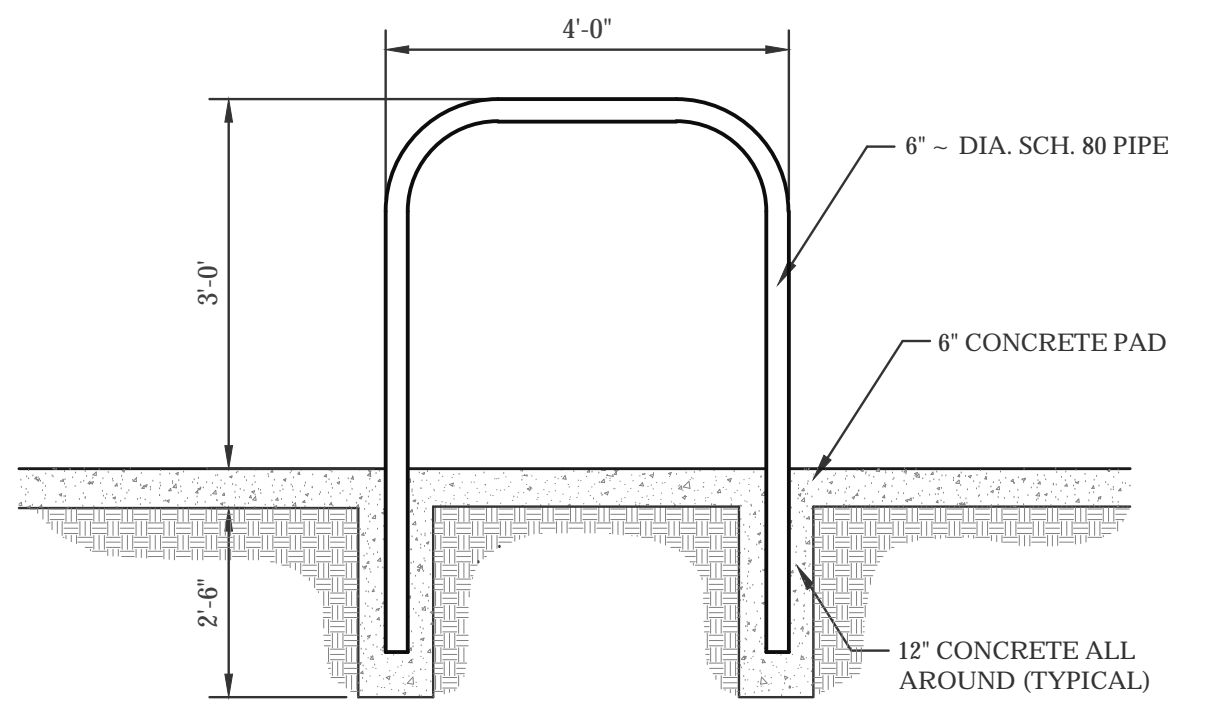
**CANOPY PLAN VIEW**  
SCALE: 3/16" = 1'-0"



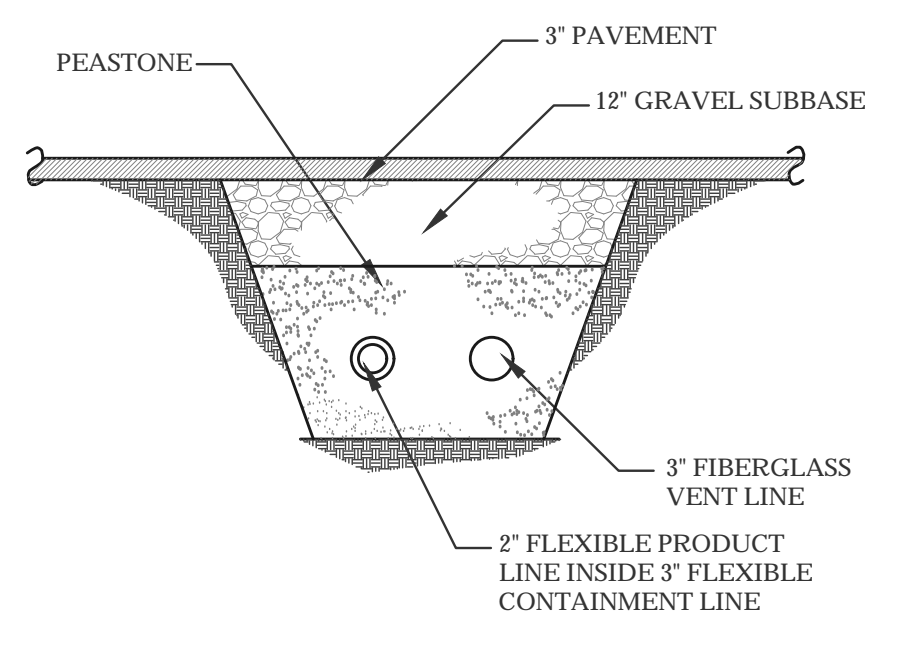
**CANOPY ELEVATION (FRONT VIEW)**  
SCALE: 3/16" = 1'-0"



**CANOPY ELEVATION (SIDE VIEW)**  
SCALE: 3/16" = 1'-0"



**TYPE "U" BUMPER DETAIL**  
NOT TO SCALE



**TYPICAL TRENCH DETAIL**  
NOT TO SCALE

Choubah Engineering Group, p.c.  
**CEG**  
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Project:  
**PROPOSED GASOLINE FILLING STATION CONVENIENCE STORE & RESTAURANT/ FOOD SERVICE AT 48 & 52 NEW DRIFTWAY SCITUATE, MA**

Prepared For:  
**PETRO REALTY CORP. 4 NORTH STREET, HINGHAM, MA 02043**



Issue Date: 06/23/2020

Revisions		
No.	Date	Description

Project Number: 20-571

Scale: AS SHOWN

Designed By: CMS

Drawn By: CMS      Checked By: HC

Sheet Title:  
**CANOPY LAYOUT ELEVATIONS & DETAILS**



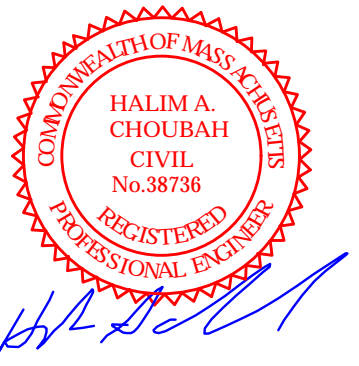
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**ARCHITECTURAL  
 RENDERINGS**