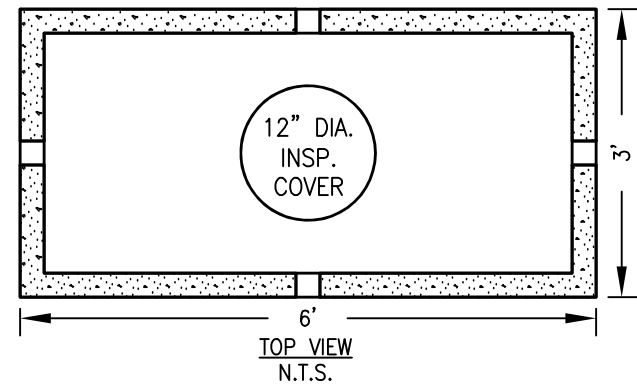


VICINITY MAP
NO SCALE



SOIL TEST DATA

SOIL TESTING & EVALUATION BY: GREGORY J. MORSE, SE#2906
DATE: MARCH 13, 2024

TP-1 APPROX. GRADE EL. 43.5

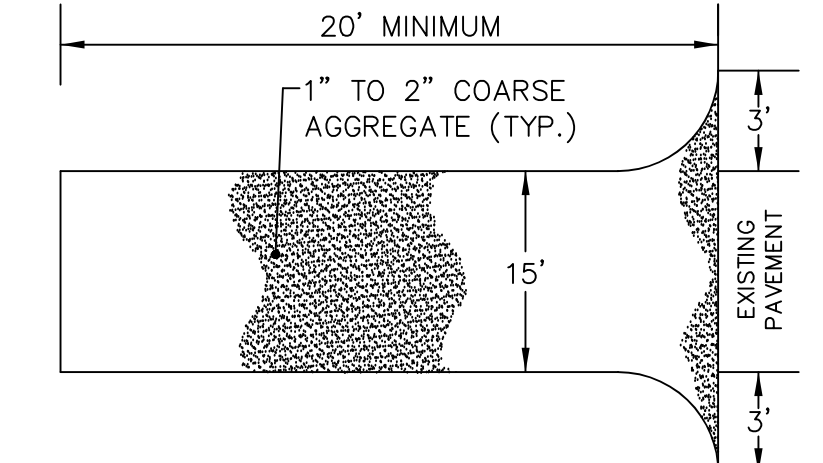
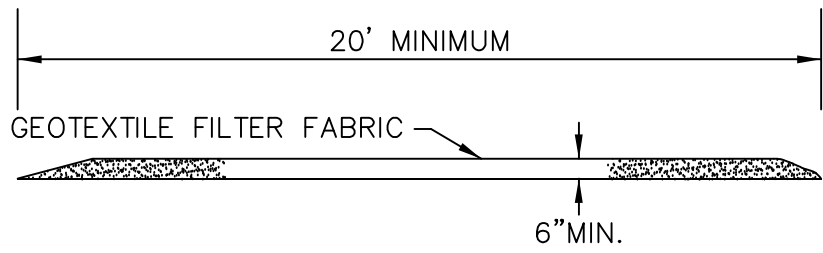
EL. 43.2	STONE	4"
EL. 38.5	C HORIZON LOAMY SAND 2.5Y 5/6	60"

WEeping OBSERVED: NONE
MOTTling OBSERVED: NONE
ESHW: >60" (EL. 38.5)

TP-2 APPROX. GRADE EL. 43.2

EL. 42.0	A HORIZON SANDY LOAM TOYR 3/2	14"
EL. 40.7	B HORIZON LOAMY SAND TOYR 5/8	30"
EL. 36.7	C HORIZON SANDY LOAM 2.5Y 5/6	78"

WEeping OBSERVED: NONE
MOTTling OBSERVED: NONE
ESHW: >78" (EL. 36.7)



STABILIZED CONSTRUCTION ENTRANCE DETAIL
NOT TO SCALE

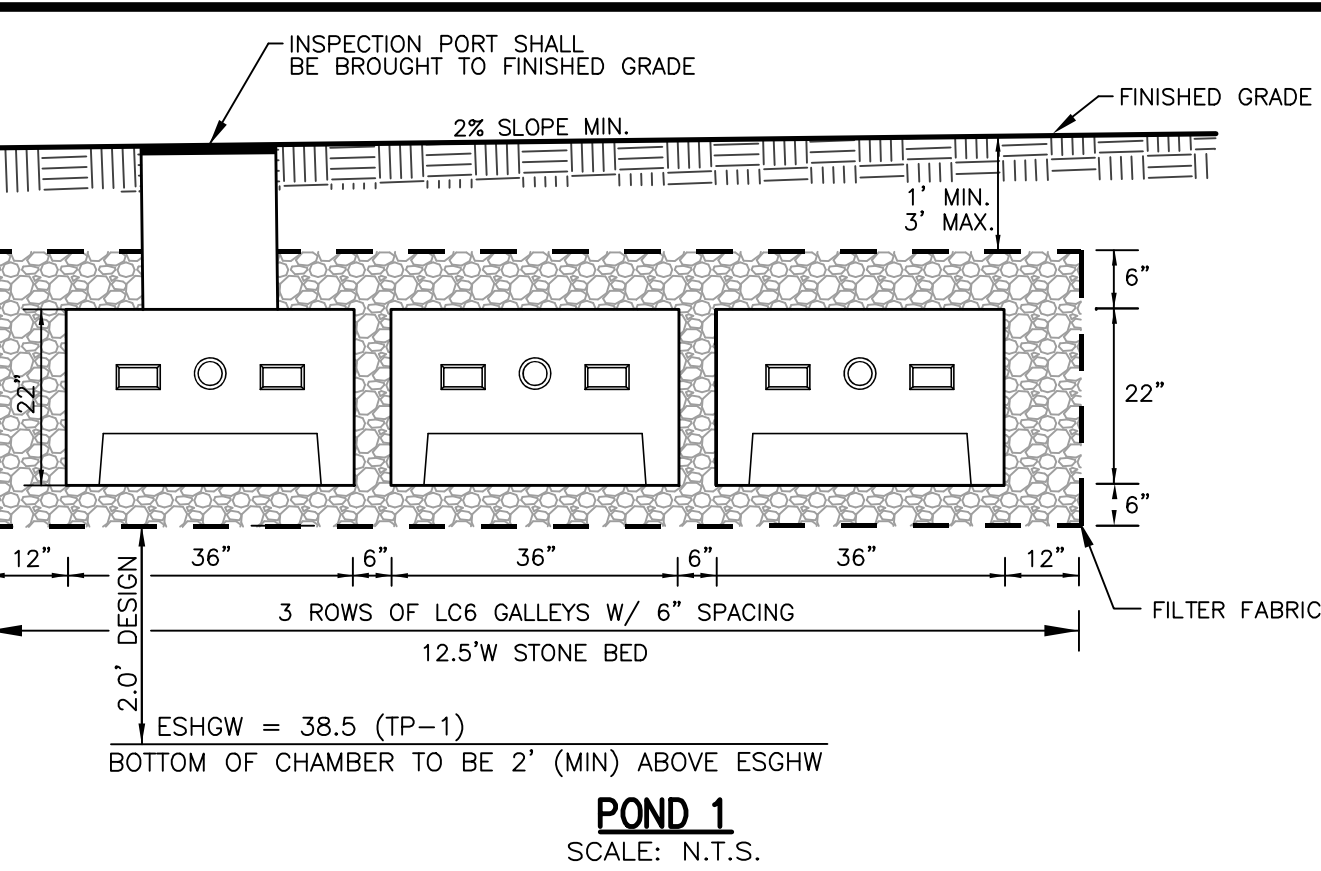
ZONING REQUIREMENTS

DESCRIPTION	REQUIRED	EXISTING	PROPOSED
LOT AREA	10,000 S.F.	19,491 S.F.	NO CHANGE
FRONTAGE	100'	19.75'	NO CHANGE
LOT WIDTH	100'	38.97'	64.59'
FRONT YARD SETBACK	30'	16.8'	38.7'
SIDE YARD SETBACK	8'	0.0' (L)	5.5' (L)
REAR YARD SETBACK	20'	22.0' (R)	16.0' (R)
BUILDING HEIGHT	35' / 3 STORIES	<35'	34.7'
GROSS FLOOR AREA	--	2,864 S.F.	4,822 S.F.

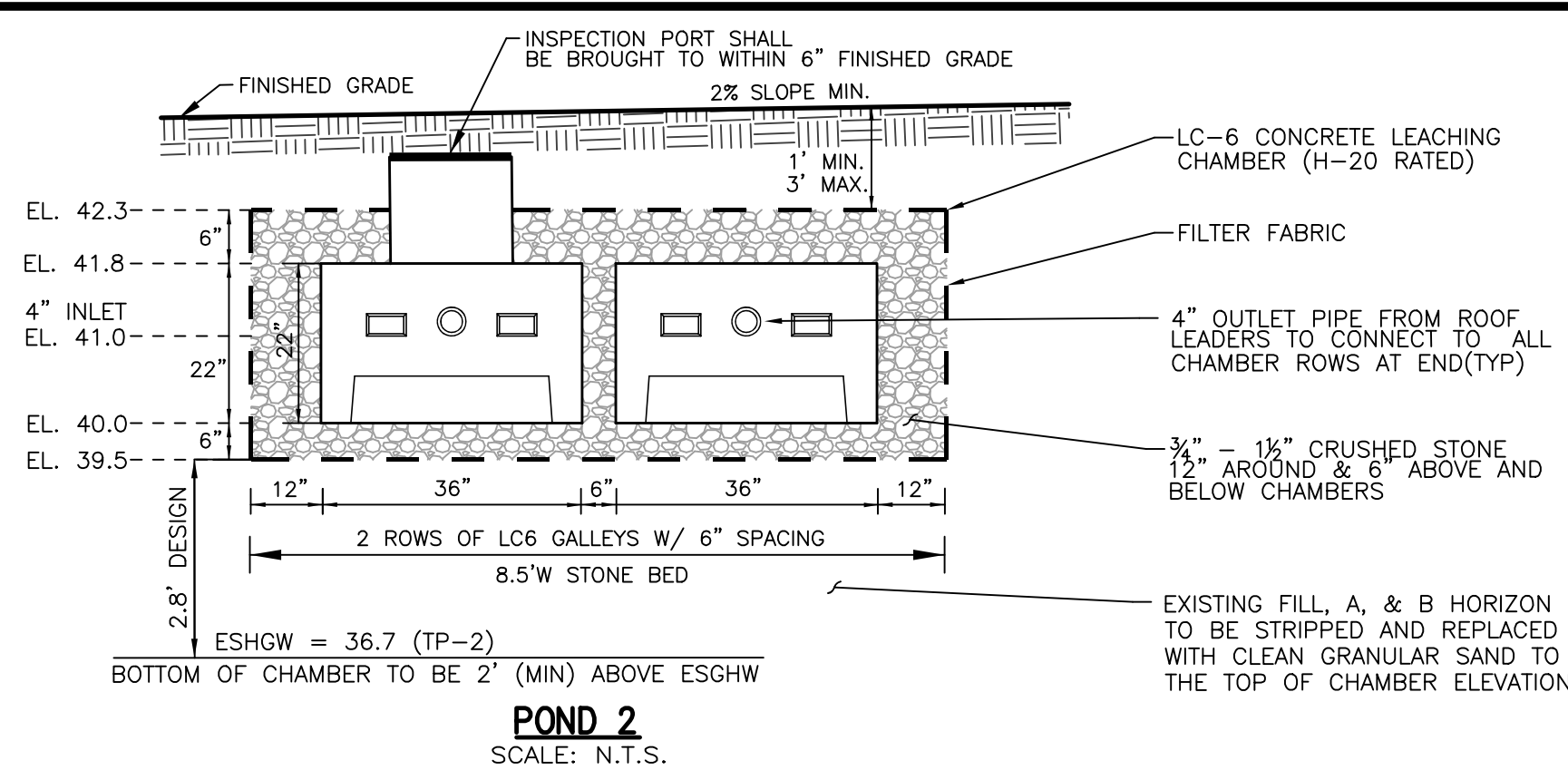
*PROPERTY LINES, SETBACKS, AND BUILDING LOCATIONS TO BE STAKED AND VERIFIED BY A PROFESSIONAL LAND SURVEYOR DURING CONSTRUCTION.

GENERAL NOTES:

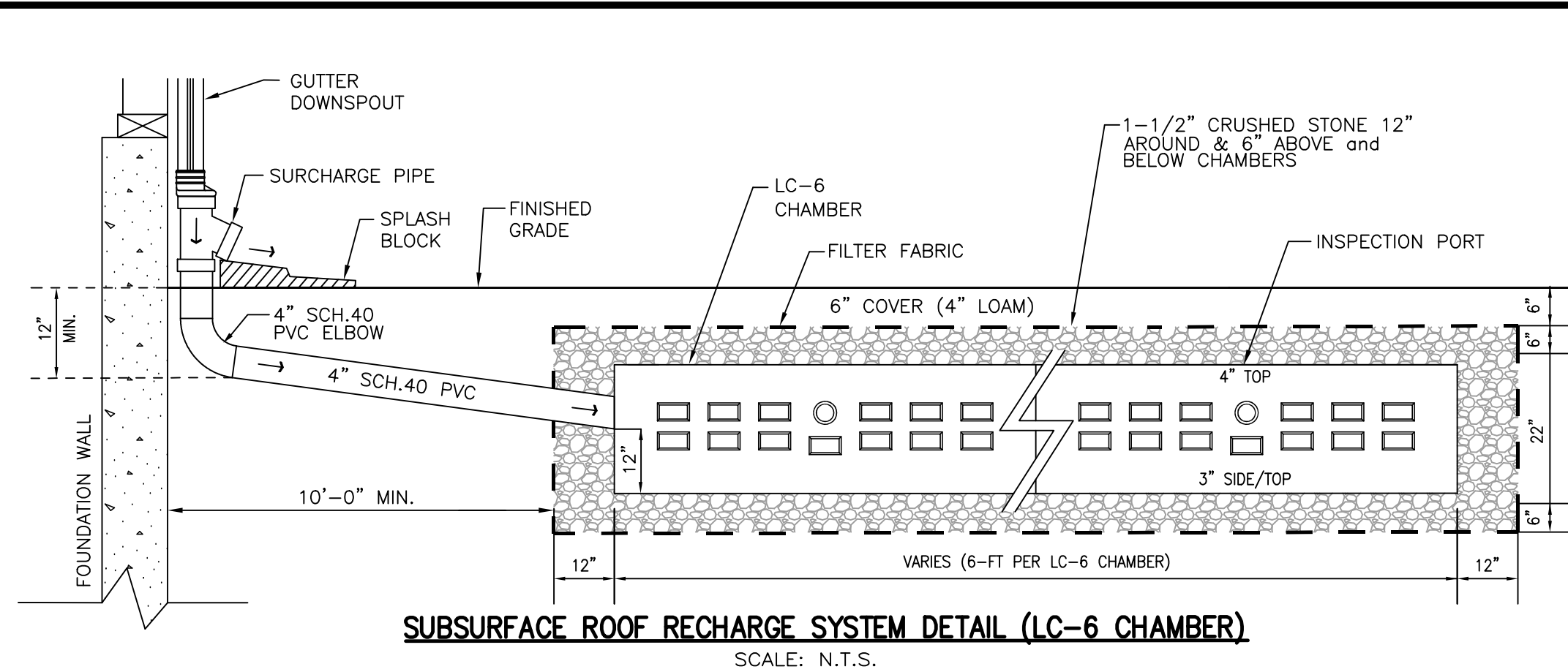
- DEED REFERENCES: PLYMOUTH COUNTY REGISTRY OF DEEDS BOOK 58169, PAGE 135
- PLAN REFERENCES: PLYMOUTH COUNTY REGISTRY OF DEEDS PLAN BOOK 5, PAGE 423
PLAN BOOK 61, PAGE 1153
- THE SUBJECT PROPERTY IS LOCATED WITHIN THE TOWN OF SCITUATE "RESIDENCE R-3" ZONING DISTRICT.
- THE SUBJECT PROPERTY IS NOT LOCATED WITHIN THE TOWN OF SCITUATE FLOOD PLAIN & WATERSHED PROTECTION DISTRICT.
- THE SUBJECT PROPERTY IS NOT LOCATED WITHIN THE TOWN OF SCITUATE WATER RESOURCE PROTECTION DISTRICT.
- THIS PLAN IS BASED ON A GROUND SURVEY PERFORMED BY MORSE ENGINEERING COMPANY, INC. ON 7/17/2023.
- ALL KNOWN WETLAND RESOURCE AREAS ON THE SUBJECT PROPERTY OR WITHIN 100' OF THE PROPOSED PROJECT ARE SHOWN.
- THE SUBJECT PROPERTY LIES IN ZONE "X" AS SHOWN ON FEMA COMMUNITY MAP PANEL 25023C 0137K DATED 11/4/2016.
- THE SUBJECT PROPERTY DOES NOT LIE WITHIN A DEP DESIGNATED ZONE II RESOURCE AREA.
- THE SUBJECT PROPERTY IS NOT LOCATED WITHIN A DEP ZONE A SURFACE WATER SUPPLY AREA.
- UTILITIES SHOWN ON THIS PLAN ARE BASED ON OBSERVANCE OF ABOVE GROUND UTILITIES AND RECORD LOCATION OF BELOW GROUND UTILITIES. NO WARRANTY IS EXPRESSED OR IMPLIED AS TO THE ACCURACY OF THE LOCATIONS OF SAID UTILITIES, OR THE EXISTENCE OR NON EXISTENCE OF ANY OTHER SUCH UTILITIES.
- ELEVATIONS SHOWN ARE BASED ON THE NAVD88 VERTICAL DATUM.



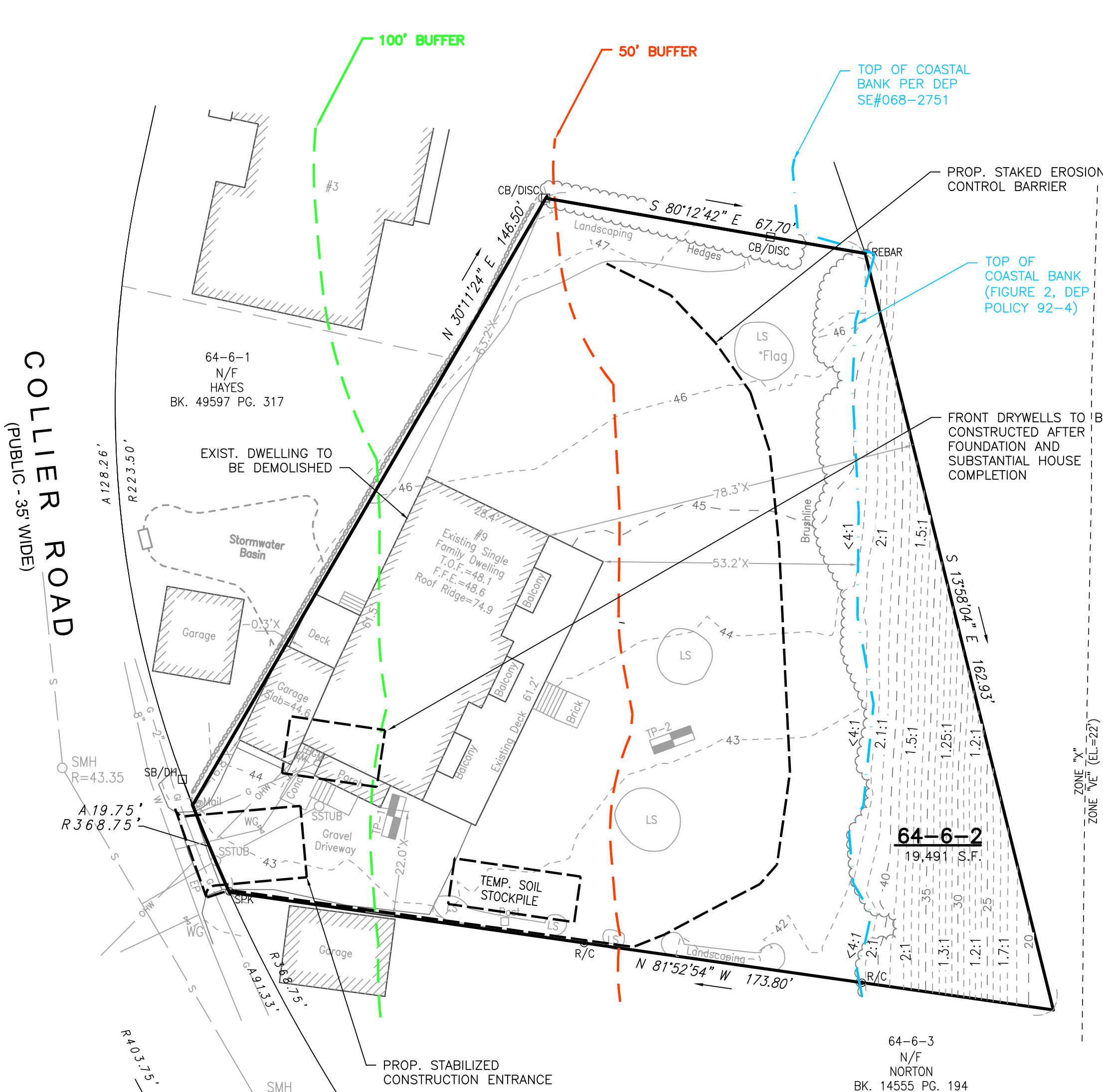
POND 1
SCALE: N.T.S.



POND 2
SCALE: N.T.S.



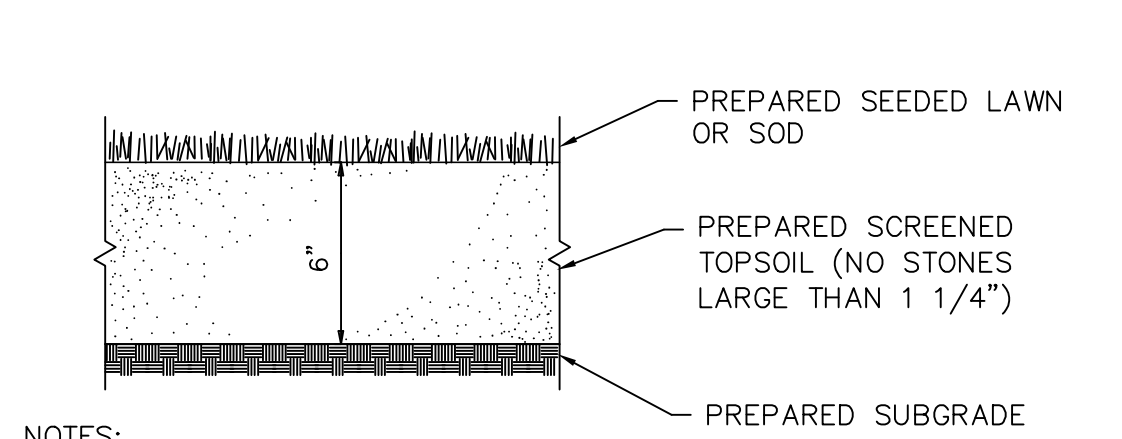
SUBSURFACE ROOF RECHARGE SYSTEM DETAIL (LC-6 CHAMBER)
SCALE: N.T.S.



EXISTING CONDITIONS & EROSION CONTROL

IMPERVIOUS AREA CALCULATIONS

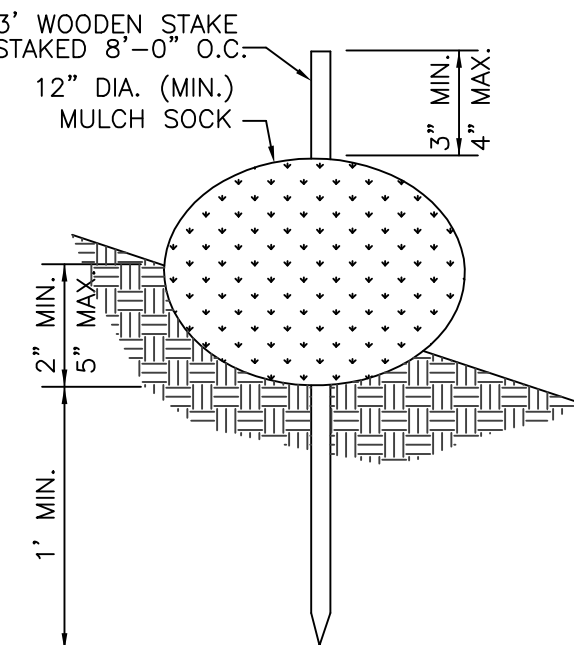
DESCRIPTION	EXISTING	PROPOSED
TOTAL LOT AREA	19,491 S.F.	19,491 S.F.
EXISTING ROOF AREA	2,225 S.F.	3,655 S.F.
CONCRETE AREA	58 S.F.	25 S.F.
IMP. PATIO/STAIR AREA	73 S.F.	100 S.F.
TOTAL AREA	2,356 S.F.	3,780 S.F.



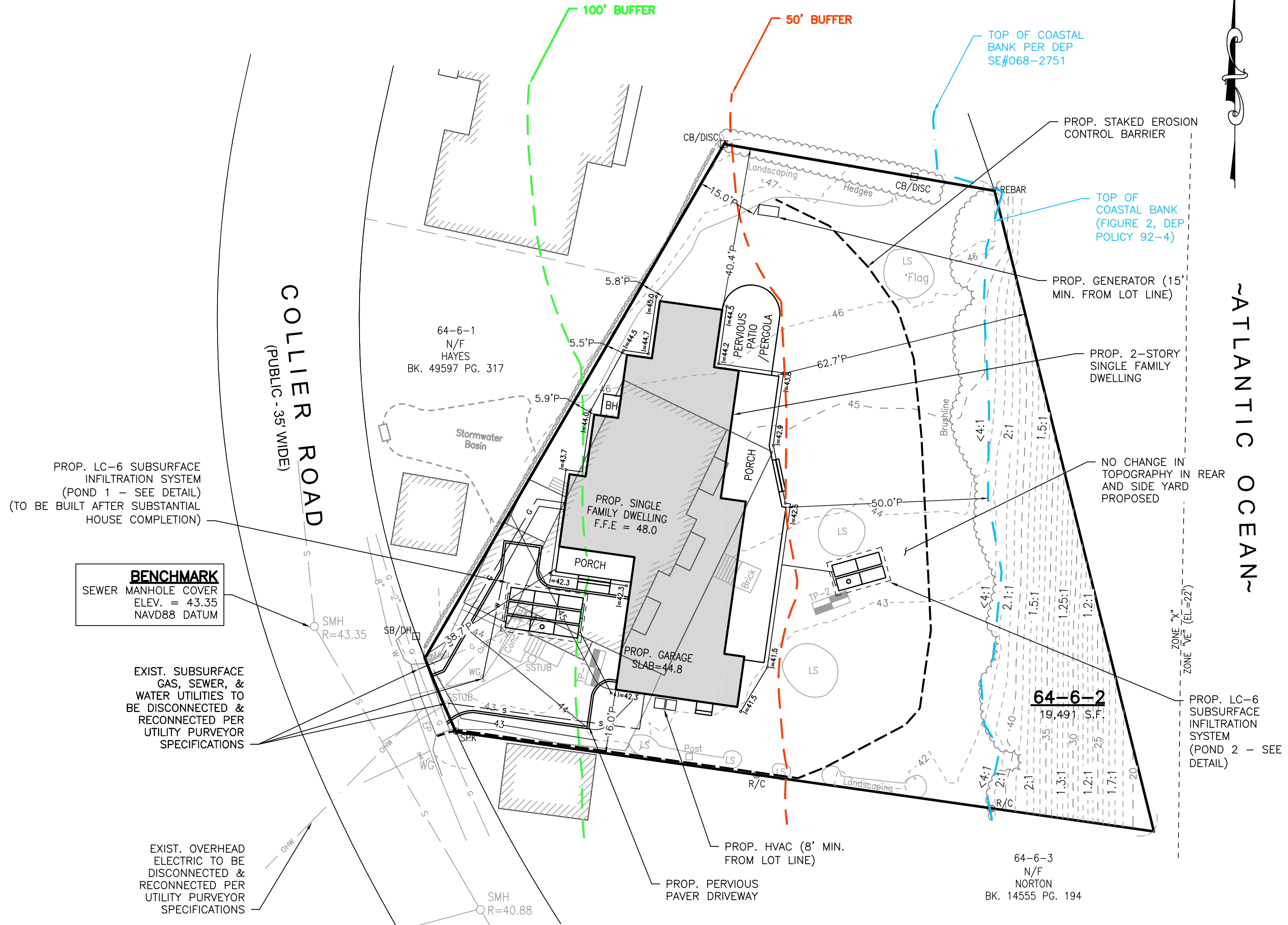
NOTES:

- TOP OF LOAM (TOPSOIL) IS FINISHED GRADE.
- TOPSOIL SHALL CONTAIN BETWEEN 5% AND 12% ORGANIC MATTER AND SHALL HAVE A MAXIMUM STONE SIZE OF 1 1/4" AND SHALL CONFORM

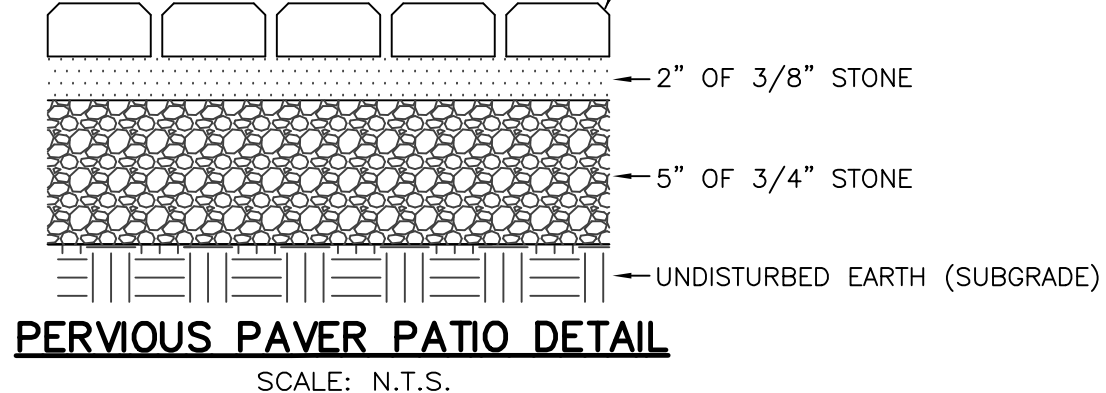
SEEDING OR SODDED LAWN DETAIL
N.T.S.



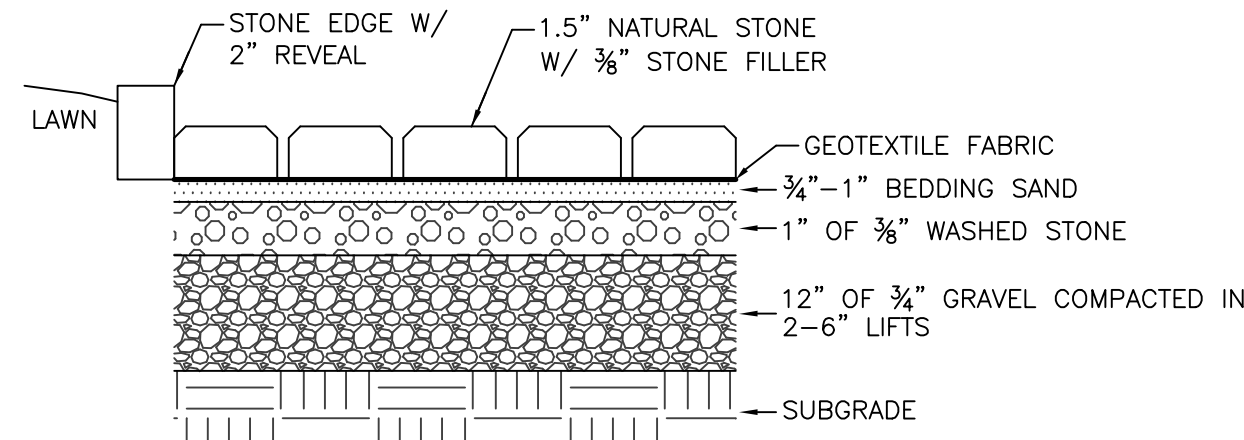
STAKED MULCH SOCK DETAIL
N.T.S.



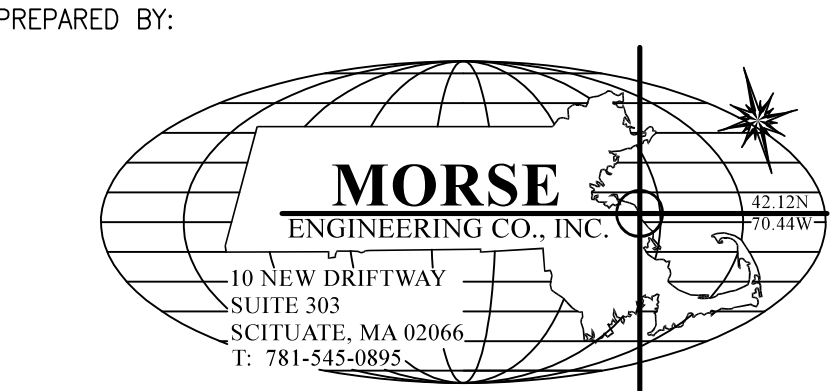
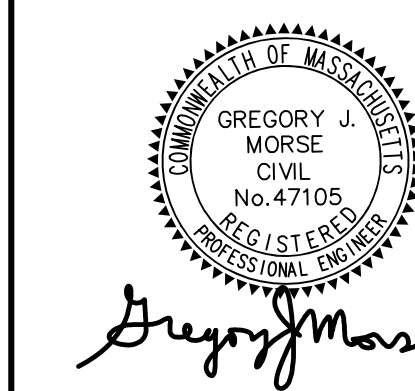
PROPOSED CONDITIONS & STORMWATER MANAGEMENT



PERVIOUS PAVER PATIO DETAIL
SCALE: N.T.S.



PERVIOUS PAVER DRIVEWAY DETAIL
SCALE: N.T.S.



PROJECT:	9 COLLIER ROAD (ASSESSOR'S PARCEL: 64-6-2) SCITUATE, MASSACHUSETTS	DRAFT:	PGG
PREPARED FOR:	KATHY & FRANK NELSON 9 COLLIER RD SCITUATE, MA 02066	CHECK:	GJM
PLAN TITLE:	STORMWATER & CONSERVATION SITE PLAN	JOB NO:	23-218
		DATE:	3/18/2024
		REV:	3/21/2024 4/12/2024
		SHEET:	1