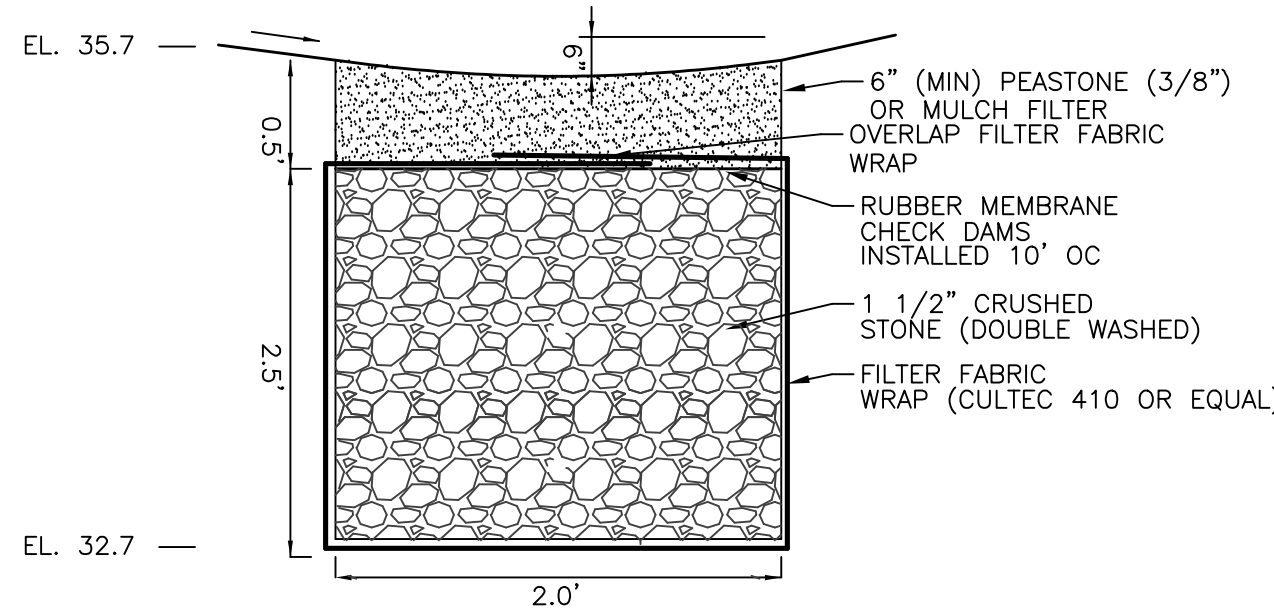
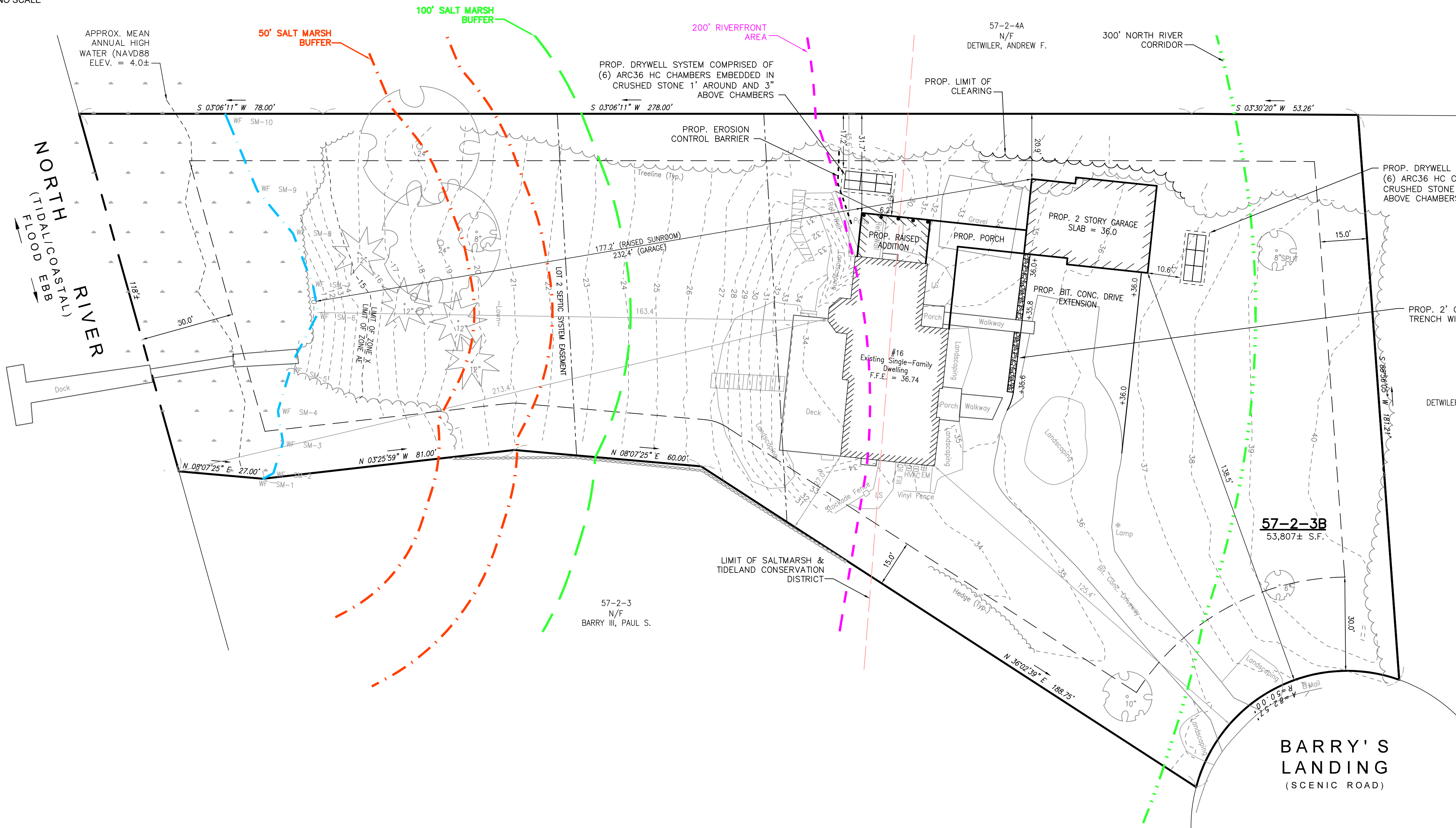
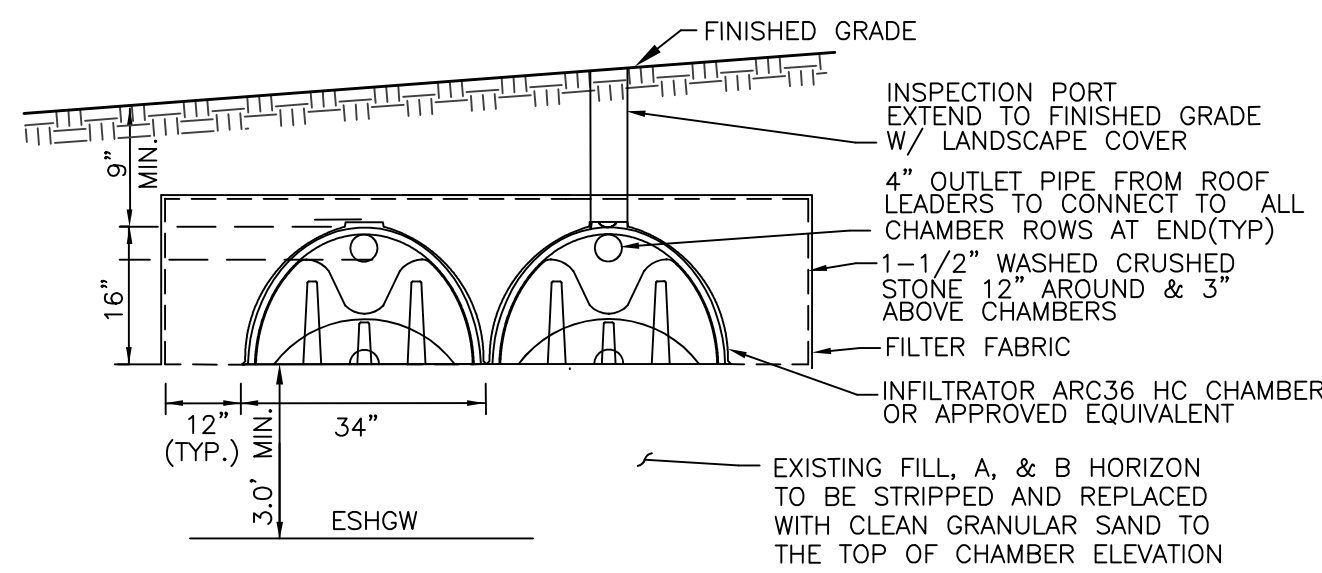


VICINITY MAP
NO SCALE

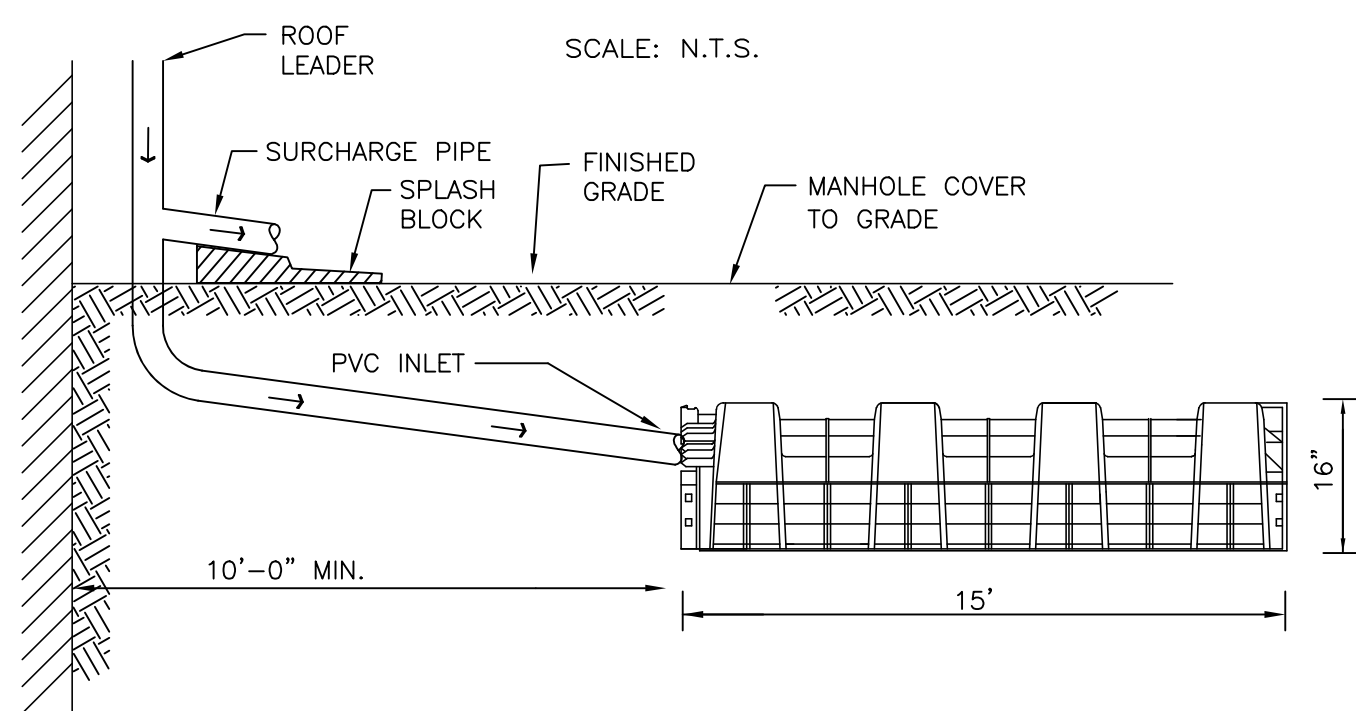


CRUSHED STONE TRENCH
SCALE: N.T.S.

SUBSURFACE ROOF RECHARGE SYSTEM DETAIL



SUBSURFACE ROOF RECHARGE SYSTEM DETAIL



NOTES:

1. ALL ROOF LEADERS SHALL BE EQUIPPED WITH DOWNSPOUT STRAINERS AND OVERFLOW RELIEF TO SURFACE.
2. NO CONSTRUCTION ACTIVITY (TRAFFIC) SHALL BE ALLOWED OVER THE ROOF DRYWELL AREA.
3. THE SUBSURFACE DRYWELL SYSTEM SHALL BE LOCATED A MINIMUM OF 10' FROM THE FOUNDATION AND 10' FROM PROPERTY LINES AND 25' FROM SEPTIC LEACHING FIELD.
4. BACKFILL CHAMBERS WITH WASHED CRUSHED STONE FOR 1.0' AROUND AND 3" ABOVE.

GENERAL NOTES

1. RECORD OWNER: GAIL F. MEEHAN
2. DEED REFERENCES: PLYMOUTH COUNTY REGISTRY OF DEEDS BK. 37046 PG. 113
3. PLAN REFERENCES: PLYMOUTH COUNTY REGISTRY OF DEEDS PLAN #449 OF 1997
4. THE SUBJECT PROPERTY IS LOCATED WITHIN THE TOWN OF SCITUATE RESIDENCE-1 ZONING DISTRICT.
5. THE SUBJECT PROPERTY IS NOT LOCATED WITHIN THE TOWN OF SCITUATE FLOOD PLAIN & WATERSHED PROTECTION DISTRICT.
6. THE SUBJECT PROPERTY IS NOT LOCATED WITHIN THE TOWN OF SCITUATE WATER RESOURCE PROTECTION DISTRICT.
7. THIS PLAN IS BASED ON A GROUND SURVEY PERFORMED BY MORSE ENGINEERING COMPANY, INC. IN AUGUST 2020.
8. ALL WETLANDS ON THE SUBJECT PROPERTY ARE SHOWN.
9. THE SUBJECT PROPERTY LIES IN ZONES "AE" (EL. 15) AND "X" AS SHOWN ON FEMA COMMUNITY MAP PANEL 25021C 0117K DATED 11/04/2016. ZONE "AE" IS CONSIDERED A SPECIAL HAZARD FLOOD ZONE, ZONE "X" IS NOT.
10. THE SUBJECT PROPERTY DOES NOT LIE WITHIN A DEP DESIGNATED ZONE II RESOURCE AREA.
11. THE SUBJECT PROPERTY IS NOT LOCATED WITHIN A DEP ZONE A SURFACE WATER SUPPLY.
12. UTILITIES SHOWN ON THIS PLAN ARE BASED ON OBSERVANCE OF ABOVE GROUND UTILITIES AND RECORD LOCATION OF BELOW GROUND UTILITIES. NO WARRANTY IS EXPRESSED OR IMPLIED AS TO THE ACCURACY OF THE LOCATIONS OF SAID UTILITIES, OR THE EXISTENCE OR NON-EXISTENCE OF ANY OTHER SUCH UTILITIES.
13. ELEVATIONS SHOWN ARE ON THE NAVD83 DATUM.
14. BUILDING AND SETBACKS TO BE STAKED BY PROFESSIONAL LAND SURVEYOR.

IMPERVIOUS AREA CALCULATIONS

AREA	EXISTING	PROPOSED
STRUCTURES	2,038± S.F.	3,823± S.F.
PATIO/WALK/WALL	515± S.F.	500± S.F.
DRIVE	2,702± S.F.	3,612± S.F.
TOTAL	5,255± S.F.	7,935± S.F.

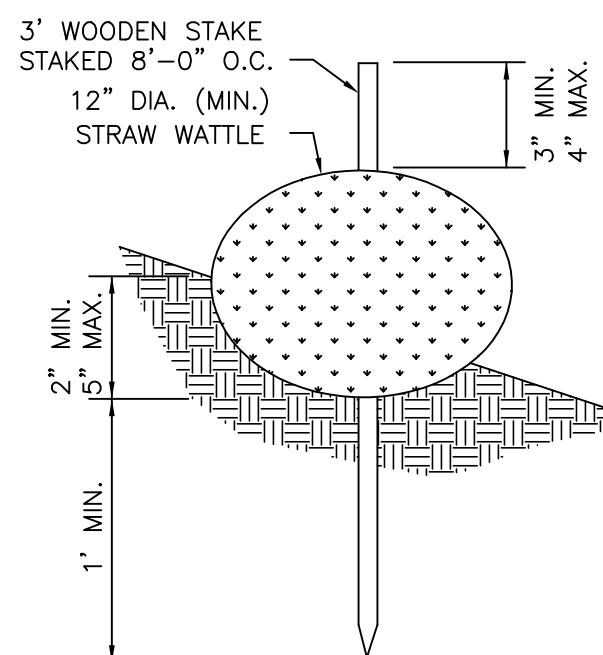
*PROP. CONSTRUCTION RESULTS IN A NET INCREASE OF 2,650± S.F. OF IMPERVIOUS AREA (NET INCREASE OF 50.1%).

ZONING: RESIDENCE A

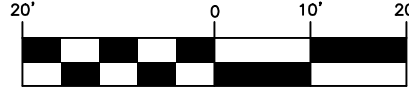
	REQUIRED	EXISTING	PROPOSED
MIN. LOT AREA:	40,000 S.F.	53,807 S.F.	NO CHANGE
FRONTAGE (FT.)	100'	82.57'	NO CHANGE
FRONT YARD SETBACK (FT.)	30'	125.4'	NO CHANGE
SIDE YARD SETBACK (FT.)	15'	27.0'	20.9'
REAR YARD SETBACK (FT.)	30'	213.4'	NO CHANGE
BUILDING HEIGHT (FEET)	35'	<35'	NO CHANGE

STRAW WATTLE DETAIL

SCALE: N.T.S.



GRAPHIC SCALE



SCALE: 1" = 20'

	PREPARED BY:
PROJECT: 16 BARRY'S LANDING (ASSESSOR'S PARCEL: 57-2-3-B) SCITUATE, MASSACHUSETTS	
PREPARED FOR: GAIL MEEHAN	DESIGN: PGG CHECK: GJM JOB NO: 18-322 DATE: 10/5/20 REV: SHEET: 1
PLAN TITLE: PLAN TO ACCOMPANY CONSERVATION FILING	