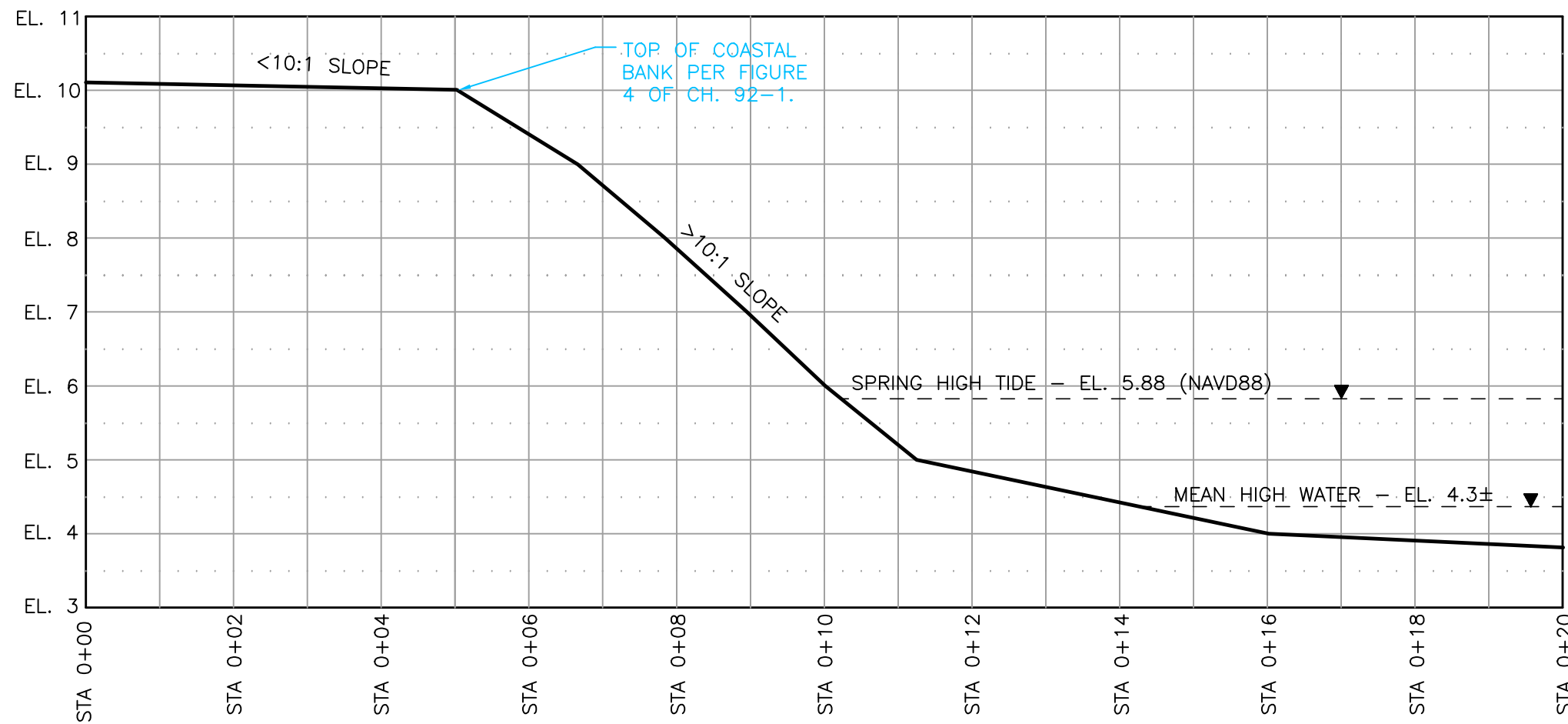


SITE LOCUS

NOT TO SCALE



SCHEDULE A-A

1" = 2'
(HORIZONTAL & VERTICAL)

DEED REFERENCE:

PLYMOUTH COUNTY REGISTRY OF DEEDS
DEED BK. 52316 PG. 278
RECORD OWNERS: JANE ANALETTO &
PIETRINA ANALETTO

PLAN REFERENCES:

PL. BK. 1 PG. 506
PL. BK. 40 PG. 33
BK. 2274 PG. 207

IMPERVIOUS AREA CALCULATION

EXISTING IMPERVIOUS AREA = 2,812± S.F.
PROPOSED IMPERVIOUS AREA = 2,991± S.F.
% INCREASE OF IMPERVIOUS AREA = 6.4%
6.4% < 25%, NO STORMWATER PERMIT REQUIRED.

*EXISTING UTILITIES (WATER, ELECTRIC, GAS, SEWER) TO
BE DISCONNECTED AND RECONNECTED TO NEW DWELLING
PER UTILITY PURVEYOR REQUIREMENTS.

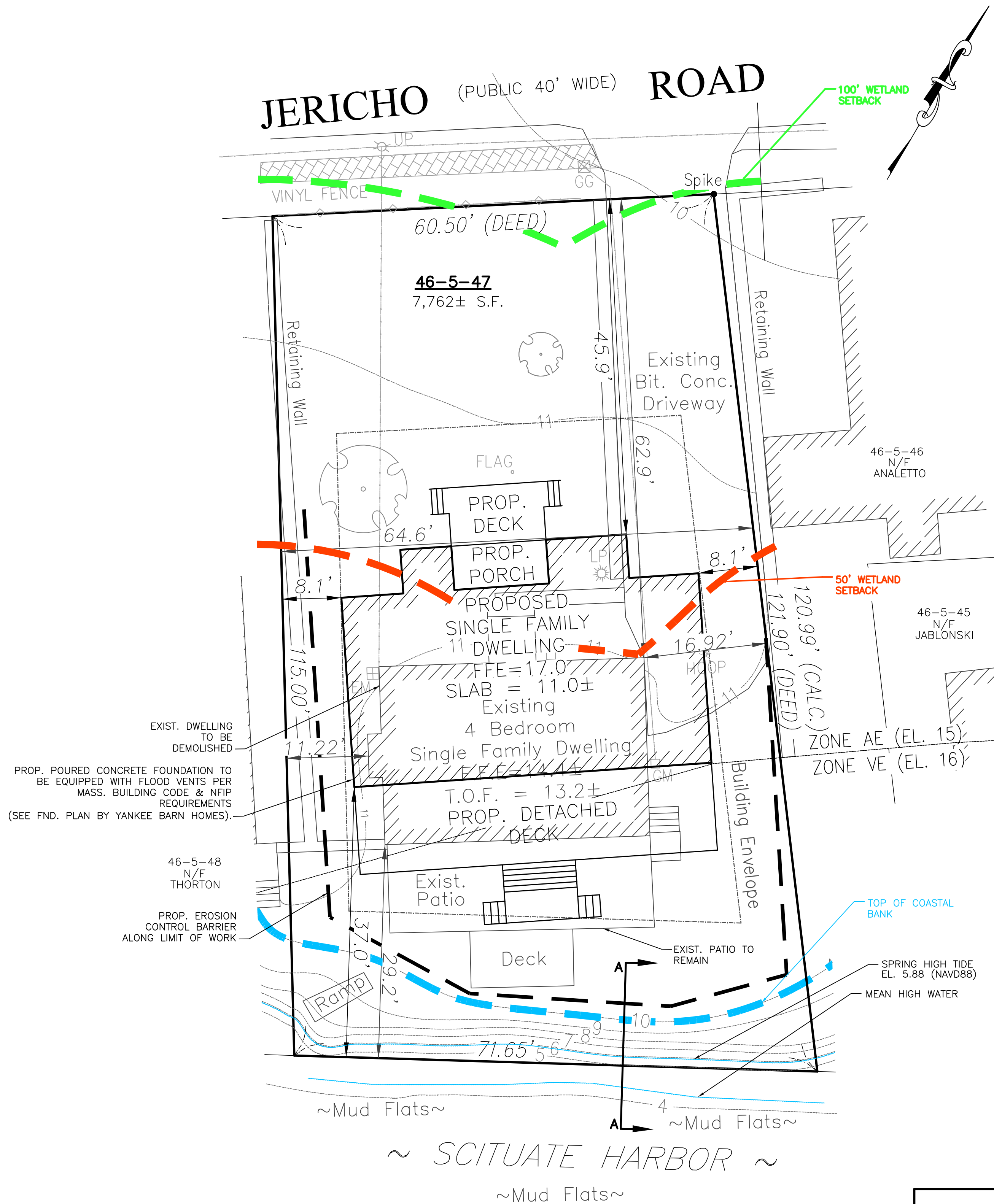
ZONING TABLE

| RESIDENCE 3 ZONE | REQ'D | EXIST. | PROP. |
|---------------------------|-------------|------------|-----------------------|
| MIN. LOT AREA: | 10,000 S.F. | 7,762 S.F. | 7,762 S.F. |
| FRONTAGE (FT.) | 100' | 60.5' | 60.5' |
| LOT WIDTH (FT.) | 100' | 66.2' | 64.6' |
| FRONT YARD SETBACK (FT.) | 30' | 62.9' | 44.5' |
| SIDE YARD SETBACK (FT.) | 8' | 11.2' | 8.1' |
| REAR YARD SETBACK (FT.) | 20' | 29.2' | 37.0' |
| BUILDING HEIGHT (STORIES) | 3 | 2 | 2.5 |
| BUILDING HEIGHT (FEET) | 35' | 35' | 35' |
| GROSS FLOOR AREA | NONE | 1800 S.F. | 2329 S.F. (+29.3%) |

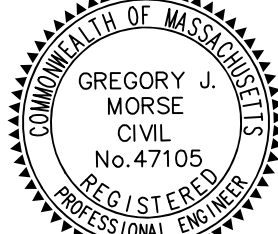
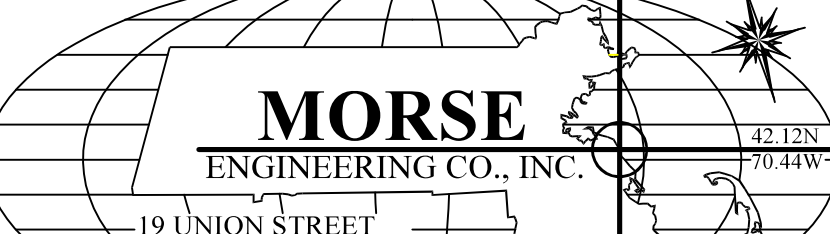
*BUILDING SETBACKS AND PROPERTY LINES TO BE STAKED BY PROFESSIONAL
LAND SURVEYOR PRIOR TO CONSTRUCTION.

GENERAL NOTES

1. ZONING: RESIDNCE R-3 ZONE (SEE TABLE ABOVE)
2. DEED REFERENCE: PLYMOUTH COUNTY REGISTRY OF DEEDS BOOK 44712 PAGE 159
3. PLAN REFERENCE: PLAN BOOK 1 PAGE 506
4. FLOOD ZONE NOTE: LOCUS IS LOCATED IN FLOOD ZONES AE (EL. 15) & VE (EL. 16)
AS SHOWN ON F.I.R.M. MAP 25023C 0128K DATED NOVEMBER 4, 2016. ZONE AE IS
DESIGNATED AS AN AREA OF 100 YEAR FLOODING WITH BASE FLOOD ELEVATIONS
DETERMINED. A VELOCITY ZONE IS DESCRIBED AS A HIGH RISK COASTAL AREA.
5. THE LOCUS LIES WITHIN THE TOWN OF SCITUATE FLOOD PLAIN AND WATERSHED PROTECTION
OVERLAY DISTRICT AS SHOWN ON THE MOST RECENT ZONING MAP OF THE TOWN OF SCITUATE.
6. PROPOSED BUILDING SHALL BE CONSTRUCTED IN ACCORDANCE WITH FEMA / NFIP REQUIREMENTS.
7. THE APPLICANT SHALL OBTAIN THE APPROVAL OF THE SCITUATE CONSERVATION COMMISSION
PRIOR TO PROJECT COMMENCEMENT.



SCALE: 1" = 10'

| | |
|--|---|
|  <i>Gregory J. Morse</i> | PREPARED BY:  MORSE ENGINEERING CO., INC. 19 UNION STREET P.O. BOX 92 SCITUATE, MA 02066 (781) 545-0895 |
| PROJECT: 148 JERICO ROAD (ASSESSOR'S PARCEL 46-5-47) SCITUATE, MASSACHUSETTS | DESIGN: JDG JOB NO: 18-299 DATE: 2/12/20 |
| PREPARED FOR: JANE ANALETTO & PIETRINA ANALETTO 351 HIGHLAND STREET MARSHFIELD, MA 02050 | REV: 3/11/20 SHEET: 1 OF 1 |
| PLAN TITLE: PLAN TO ACCOMPANY NOTICE OF INTENT | |