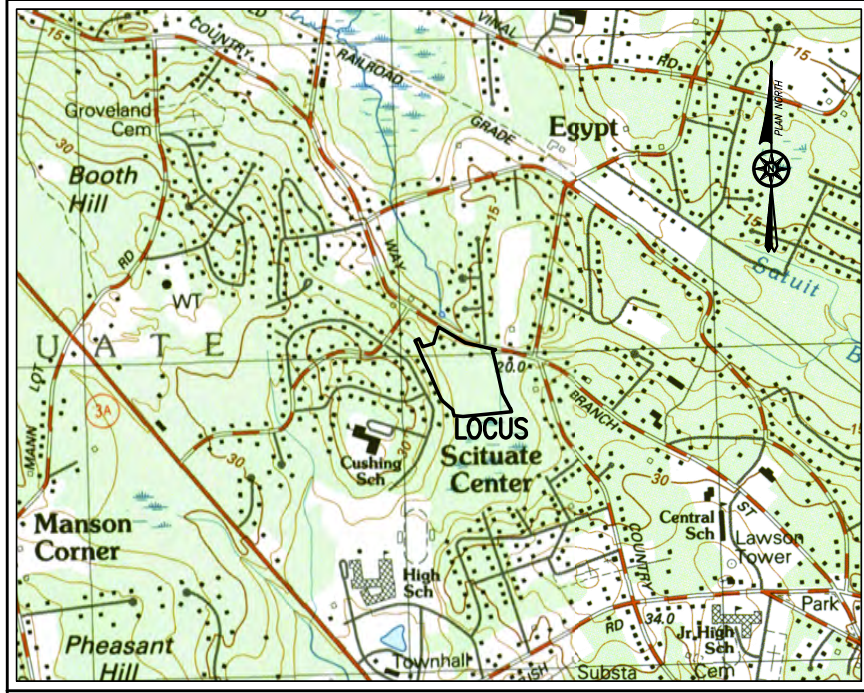




LOCATION MAP SCALE: 1"=2083'±

ZONING DATA

DISTRICT:
RESIDENCE R-2
FLOOD PLAIN & WATERSHED PROTECTION DISTRICT
WATER RESOURCE PROTECTION OVERLAY DISTRICT

USE: RESIDENTIAL

MINIMUM REQUIREMENTS:

LOT AREA 20,000 S.F.
LOT FRONTAGE 100 FT
LOT WIDTH 125 FT
FRONT YARD 30 FT
SIDE YARD 15 FT
REAR YARD 30 FT

50 FT FRONTAGE LOTS
REQUIRE 40,000 S.F.

DETACHED ACCESSORY STRUCTURES & POOL SETBACKS

REAR YARD 8 FT
SIDE YARD 15 FT

WATER RESOURCE PROTECTION

LAND DISTURBANCE 15% OF LOT OR 2500 SF
WHICHEVER IS GREATER

610.2.D.5 PROCEDURE FOR APPROVAL:

ANY PERSON DESIRING A SPECIAL PERMIT PURSUANT TO THIS SUBSECTION SHALL SUBMIT AN APPLICATION IN WRITING TO THE PLANNING BOARD, ALONG WITH AN APPLICATION FEE AS REQUIRED IN THE MOST RECENT SCHEDULE OF FEES, IN SUCH FORM THAT COMPLIES WITH THE REQUIREMENTS OF SECTION 770 OF THIS BYLAW

610.2.D.2.B MINIMUM FRONTAGE

REQUIRED	PROVIDED
100 FT	218 FT

610.2.D.2.b MINIMUM TRACT SIZE RESIDENTIAL COMPOUND DEVELOPMENT

	EXISTING	ALLOWED/REQUIRED	PROPOSED
# OF LOTS	0 LOTS	5 LOTS	5 LOTS
TRACT SIZE	431,048 S.F.	4 x GROSS SIZE REQ'D NUMBER OF LOTS PROPOSED 4 X 5 X 20,000	400,000 S.F.

INDIVIDUAL LOT DIMENSIONAL REQUIREMENTS

PERIMETER LINE	50 FT
FRONT YARD	30 FT
SIDE YARD	15 FT
REAR YARD	30 FT
LOT SIZE	2 X 20,000 = 40,000 SF MIN

NOTES:

- A PORTION OF THE LOCUS LIES WITHIN THE TOWN OF SCITUATE FLOOD PLAIN AND WATERSHED PROTECTION DISTRICT.
- THE LOCUS LIES WITHIN THE TOWN OF SCITUATE WATERSHED PROTECTION OVERLAY DISTRICT.
- THE LOCUS LIES IN A FEMA FLOOD ZONE X, AN AREA OF MINIMAL FLOOD HAZARD AS SHOWN ON FIRM PANEL 25023C0109K, EFFECTIVE DATE 11/4/16.
- THE LOCUS IS NOT LOCATED IN A ZONE I, ZONE II, ZONE A, B, OR C OR ANY MASS DEP WATER SUPPLY PROTECTION AREA WATER.
- THE WETLAND LINE WAS DELINEATED BY JOHN ZIMMER, SOUTH RIVER ENVIRONMENTAL SERVICES, NOVEMBER 11, 2018.
- THERE ARE NO PEDESTRIAN WALKWAYS PROPOSED
- THERE ARE NO KNOWN PUBLIC OR PRIVATE WELLS WITHIN 400 FT OF THE BOUNDARY OF THE BUILDING LOTS
- THE LOTS SHOWN HEREON SHALL HAVE LEGALLY ENFORCEABLE RIGHTS OF ACCESS TO COUNTRY WAY.
- THE LAND LIES WITHIN A TRACT APPROVED FOR SHARED COMMON FRONTAGE.
- DEVELOPMENT OF THE LAND IS PERMITTED ONLY IN ACCORDANCE WITH THE LAND USES INDICATED THEREON.
- THE TOWN WILL NOT BE REQUESTED TO ACCEPT OR MAINTAIN ANY MUNICIPAL SERVICES WHATSOEVER INCLUDING BUT NOT LIMITED TO THE PRIVATE ACCESS, DRAINAGE, OPEN SPACE OR ANY OTHER IMPROVEMENT WITHIN SAID TRACT.
- ALL DEED RESTRICTIONS WITH RESPECT TO OWNERSHIP, USE AND MAINTENANCE OF PERMANENT OPEN SPACE SHALL BE REFERENCED ON, AND RECORDED WITH, THE PLAN.
- THE DEED FOR EACH LOT SERVED BY A COMMON DRIVEWAY SHALL INCLUDE, A RESTRICTIVE COVENANT STATING THAT THE COMMON DRIVEWAY SHALL NEVER BE CONSIDERED FOR ACCEPTANCE AS A TOWN ROAD AND THAT ALL MAINTENANCE AND REPAIR OF THE COMMON DRIVEWAY AND DRAINAGE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNERS OF THE PROPERTIES SERVED BY THE COMMON DRIVEWAY.
- SCITUATE ZBL 610.2.D.3 LIMITATION ON FURTHER DEVELOPMENT
NO SUCH TRACT FOR WHICH A SPECIAL PERMIT HAS BEEN ISSUED UNDER THIS SECTION MAY BE FURTHER SUBDIVIDED AND A NOTATION TO THIS EFFECT SHALL BE SHOWN ON THE PLAN AND RECORDED.
- ALL DRIVEWAYS TO BE A MINIMUM OF 12 FEET WIDE TO ACCOMMODATE FIRE APPARATUS PER REQUIREMENT FROM FIRE DEPARTMENT

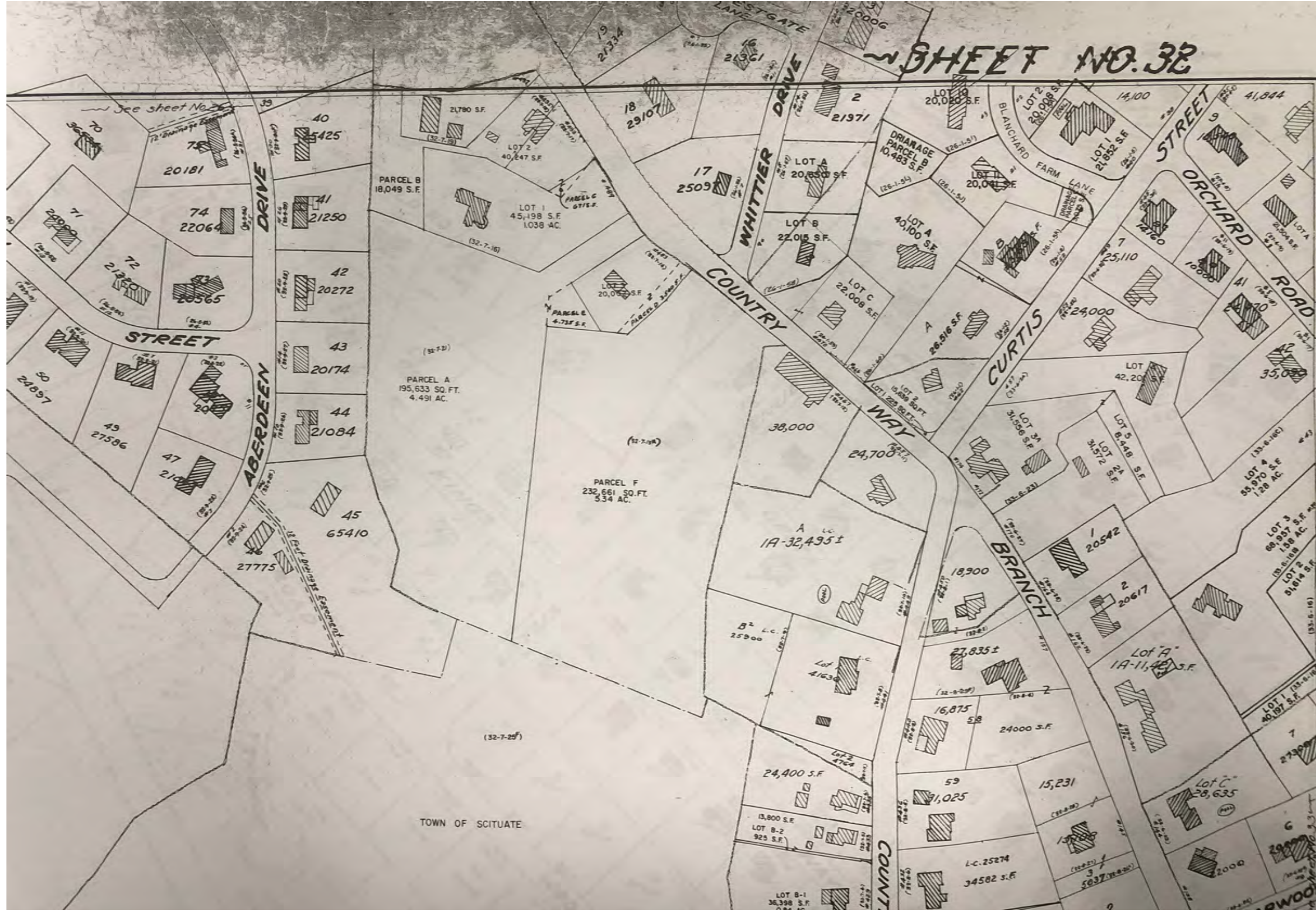
RECORD OWNERS:

ASSESSORS PARCEL 032-007-014
BRADFORD A. MERRITT
DEED BOOK 48004 PAGE 331
PLAN BOOK 61 PAGE 57
PLAN BOOK 63 PAGE 1178

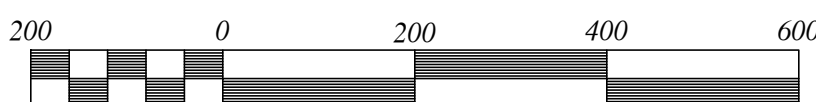
ASSESSORS PARCEL 032-007-013A
BRADFORD A. MERRITT
DEED BOOK 52184 PAGE 247

PLAN REFERENCES

- PLAN BOOK 4 PAGE 715
- PLAN BOOK 6 PAGE 528
- PLAN BOOK 10 PAGE 680
- PLAN BOOK 11 PAGE 548
- BOOK 3577 PAGE 285
- BOOK 3650 PAGE 518
- PLAN BOOK 60 PAGE 566
- LAND COURT PLAN Nos. 14625A-C
- STATE HIGHWAY LAYOUT Nos. 489 AND 3338
- PLAN BOOK 60 PAGE 905
- PLAN BOOK 61 PAGE 57
- PLAN BOOK 63 PAGE 1178
- PLAN BOOK 63 PAGE 1185



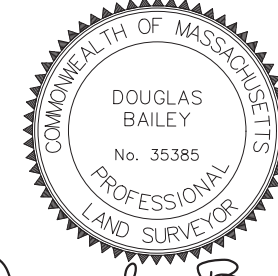
SCITUATE ASSESSORS MAP OCTOBER 2019



Scale 1" = 200'

I HEREBY CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

DOUGLAS BAILEY, P.L.S.



DATE

Douglas Bailey

FOR REGISTRY USE ONLY

SCITUATE PLANNING BOARD

DATE SUBMITTED:

DATE APPROVED:

APPROVAL UNDER THE SUBDIVISION CONTROL LAW NOT REQUIRED
APPROVED SUBJECT TO CONDITIONS SET FORTH IN SEPARATE SPECIAL PERMITS ISSUED UNDER SECTION 310.2D AND SECTION 720 OF THE SCITUATE ZONING BYLAW.

DATE

PLANNING BOARD ENDORSEMENT OF THIS PLAN INDICATES ONLY THAT THE PLAN IS NOT A SUBDIVISION UNDER M.G.L. Ch. 41, Sec. 81L, AND DOES NOT INDICATE THAT THE LOT IS BUILDABLE, OR THAT IT MEETS ZONING, HEALTH, CONSERVATION OR GENERAL BY-LAW REQUIREMENTS.

I, KATHLEEN A. CURRAN, CLERK OF THE TOWN OF SCITUATE, HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AN NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT FOLLOWING SUCH RECEIPT AND RECODING OF SAID NOTICE.

DATE: TOWN CLERK

SHEET INDEX

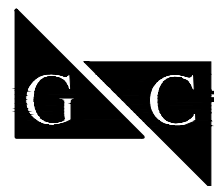
SH 1	ZONING
SH 2	ZONING/LOTING
SH 3	EASEMENTS PLAN
SH 4	EXISTING CONDITIONS
SH 5	TESTHOLES
SH 6	GRADING & EROSION CONTROL
SH 7	UTILITIES & DRAINAGE
SH 8	PLAN AND PROFILE
SH 9	SIGHT DISTANCE
SH 10	DETAILS DRAINAGE, INFILTRATION TRENCH, SUBSURFACE SYSTEM
SH 11	DETAILS WATER MAIN, HYD
SH 12	DETAILS DRAIN BASIN, CHECK DAM
SH 13	DETAILS EROSION CONTROL, PAVEMENT
SH 14	DETAILS MANHOLES, OUTLETS
SH 15	LANDSCAPE
SH 16	CONSTRUCTION PHASE I PLAN
SH 17	CONSTRUCTION PHASE II PLAN

REVISIONS	
NOVEMBER 26, 2019	PLANNING BOARD REVIEW ENGINEER COMMENTS
JANUARY 14, 2020	PLANNING BOARD MEETING COMMENTS
JANUARY 21, 2020	PLANNING BOARD PEER REVIEW COMMENTS
FEBRUARY 27, 2020	PEER REVIEW & FIRE DEPT. COMMENTS
MARCH 12, 2020	TOWN PLANNER COMMENTS, NOTE #14, SH1, LOT 2 AREA SH2
MARCH 30, 2020	PEER REVIEW COMMENTS, PLAN & SNPPP



PREPARED FOR:
BRADFORD A. MERRITT
493 COUNTRY WAY
SCITUATE, MA 02066

MAY 28, 2019
SCALE: 1"=200'
JOB NO. 18-312

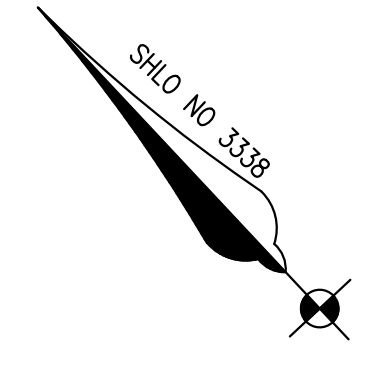


GRADY CONSULTING, L.L.C.

Civil Engineers, Land Surveyors & Landscape Architects
71 Evergreen Street, Suite 1, Kingston, MA 02364
Phone (781) 585-2300 Fax (781) 585-2378

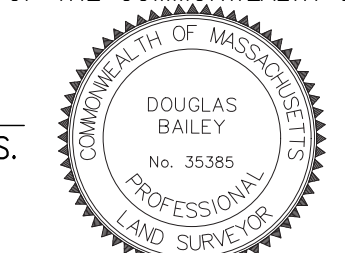
SHEET 1 OF 17

ZONING



I HEREBY CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

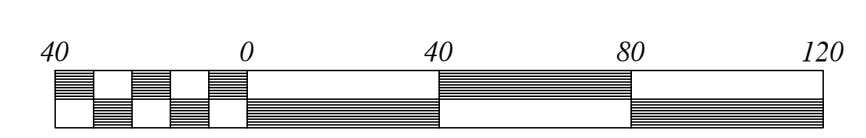
DOUGLAS BAILEY, P.L.S.



DATE

Douglas Bailey

FOR REGISTRY USE ONLY



Scale 1" = 40'

SPECIAL PERMIT PLAN

RESIDENTIAL COMPOUND DEVELOPMENT SUBDIVISION

0 & 483 COUNTRY WAY

SCITUATE, MASSACHUSETTS

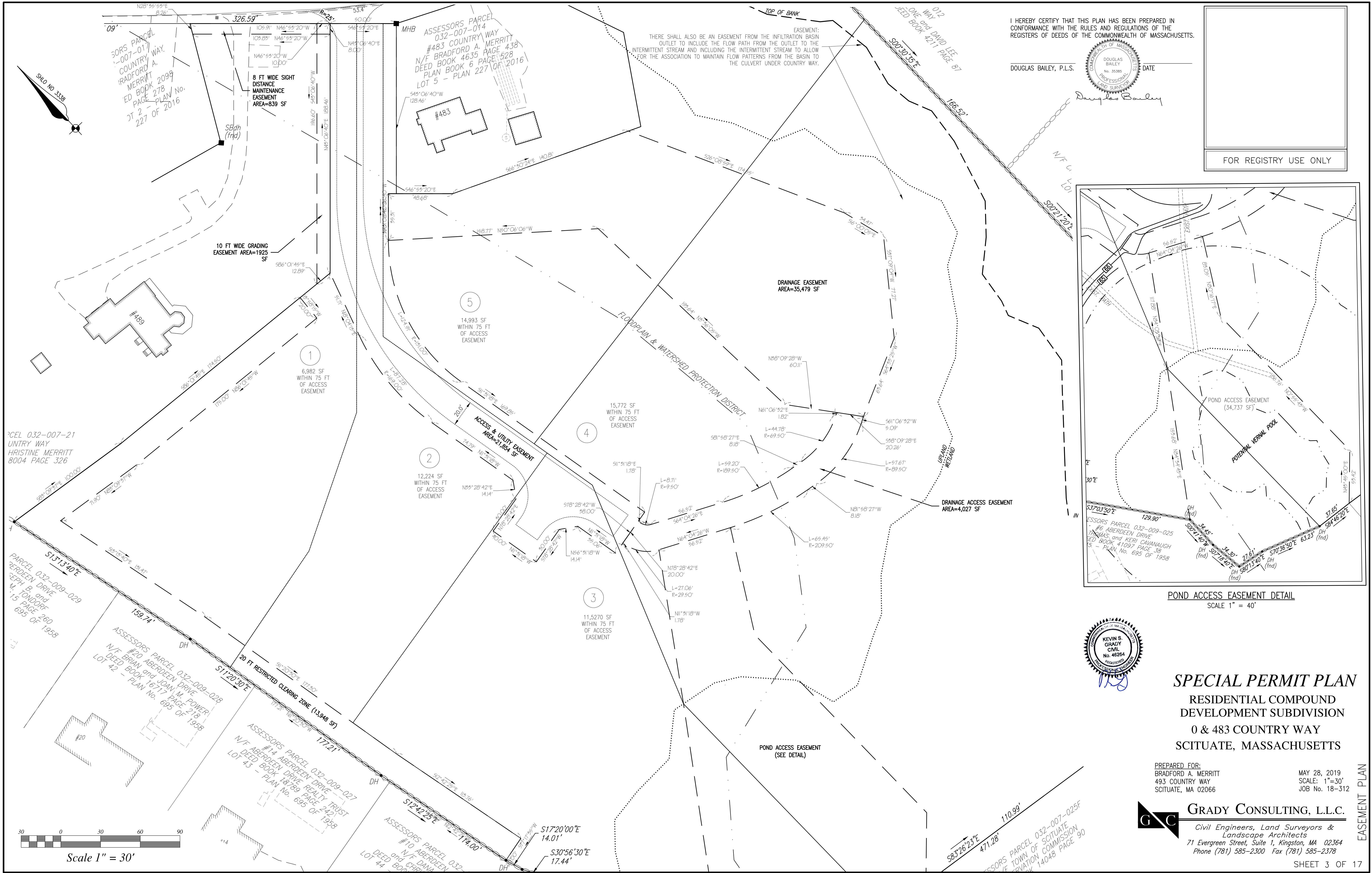
PREPARED FOR:
BRADFORD A. MERRITT
493 COUNTRY WAY
SCITUATE, MA 02066

MAY 28, 2019
SCALE: 1"=40'
JOB No. 18-312

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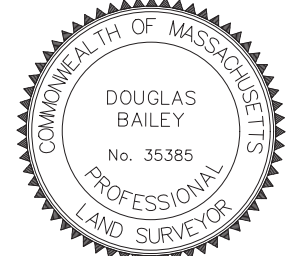


LOTING



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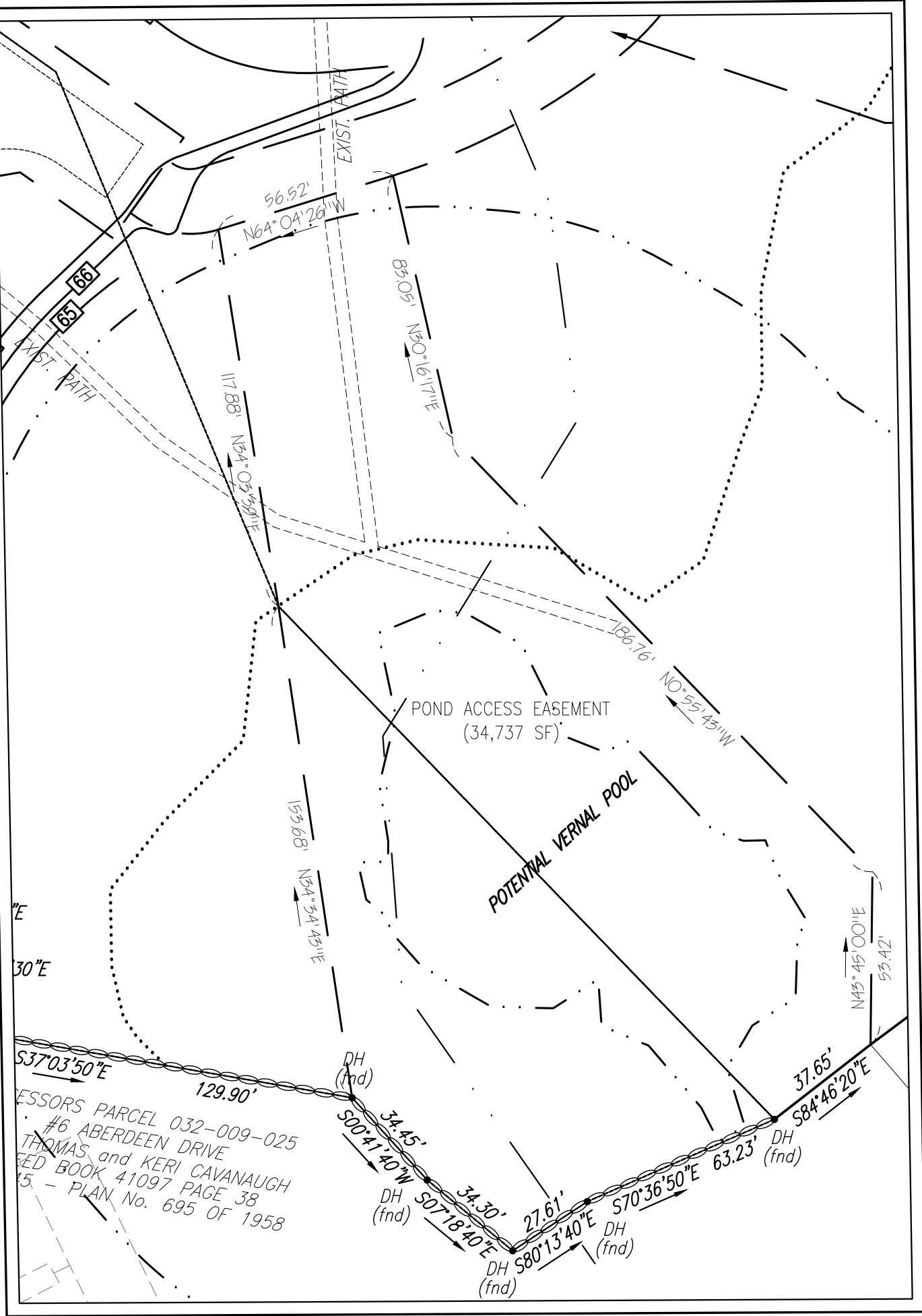
DOUGLAS BAILEY, P.L.S.



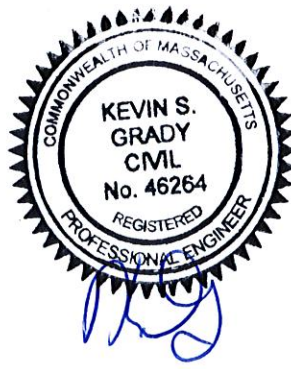
DATE

Douglas Bailey

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POND ACCESS EASEMENT DETAIL
SCALE 1" = 40'



SPECIAL PERMIT PLAN

RESIDENTIAL COMPOUND DEVELOPMENT SUBDIVISION

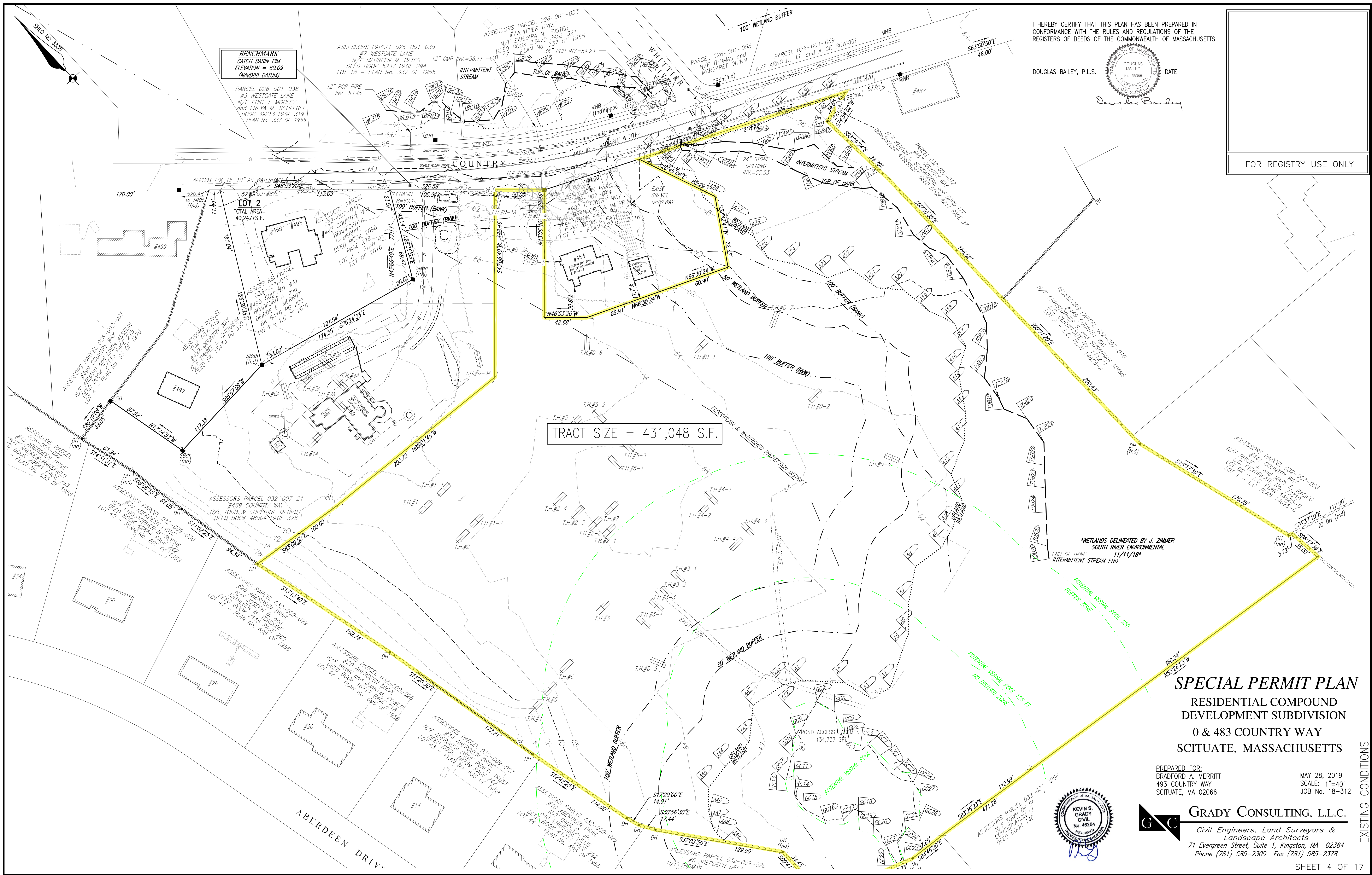
0 & 483 COUNTRY WAY SCITUATE, MASSACHUSETTS

PREPARED FOR:
BRADFORD A. MERRITT
493 COUNTRY WAY
SCITUATE, MA 02066

MAY 28, 2019
SCALE: 1"=30'
JOB No. 18-312

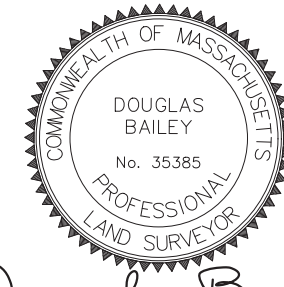


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DOUGLAS BAILEY, P.L.S.



DATE

Douglas Bailey

FOR REGISTRY USE ONLY

TRACT SIZE = 431,048 S.F.

*WETLANDS DELINEATED BY J. ZIMMER
SOUTH RIVER ENVIRONMENTAL
11/11/18*

SPECIAL PERMIT PLAN **RESIDENTIAL COMPOUND** **DEVELOPMENT SUBDIVISION** **0 & 483 COUNTRY WAY** **SCITUATE, MASSACHUSETTS**

PREPARED FOR:
BRADFORD A. MERRITT
493 COUNTRY WAY
SCITUATE, MA 02066

MAY 28, 2019
SCALE: 1"=40'
JOB No. 18-312



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T.H.#1-1		T.H.#1-2		T.H.#2-1		T.H.#2-2		T.H.#2-3		T.H.#2-4		T.H.#3-1		T.H.#3-2		T.H.#3-3		T.H.#3-4	
EL.	67.28	EL.	66.26	EL.	63.64	EL.	63.90	EL.	64.29	EL.	64.78	EL.	64.72	EL.	64.40	EL.	64.32	EL.	64.40
0'-12" A LOAM	66.28	0'-12" A LOAM	65.26	0'-16" A LOAM	62.31	0'-16" A LOAM	62.56	0'-12" A LOAM	63.29	0'-12" A LOAM	63.78	0'-14" A LOAM	63.55	0'-14" A LOAM	63.23	0'-10" A LOAM	63.48	0'-14" A LOAM	63.23
8"-24" B LOAMY SAND		8"-24" B LOAMY SAND		16"-24" B LOAMY SAND		16"-24" B LOAMY SAND		12"-24" B LOAMY SAND		12"-24" B LOAMY SAND		14"-28" B LOAMY SAND		14"-30" B LOAMY SAND		10"-24" B LOAMY SAND		14"-32" B LOAMY SAND	
	65.28		64.26		61.64		61.90		62.29		62.78		62.38		61.90		62.32		61.73
24"-76" C1 GRAVELLY COARSE SAND	PERC 32"-50" P.R.<2 MIN\IN 60.95	24"-76" C1 GRAVELLY COARSE SAND	PERC 34"-52" P.R.<2 MIN\IN 59.93	24"-120" C1 GRAVELLY COARSE SAND	PERC 20"-38" P.R.<2 MIN\IN	24"-120" C1 GRAVELLY COARSE SAND	PERC 24"-42" P.R.<2 MIN\IN	24"-120" C1 GRAVELLY COARSE SAND	PERC 30"-48" P.R.<2 MIN\IN	24"-120" C1 GRAVELLY COARSE SAND		28"-120" C1 GRAVELLY COARSE SAND	PERC 30"-48" P.R.<2 MIN\IN	30"-72" C1 GRAVELLY COARSE SAND	PERC 26"-44" P.R.<2 MIN\IN 58.40	24"-48" C1 GRAVELLY COARSE SAND	PERC 25"-43" P.R.<2 MIN\IN 60.32	32"-48" C1 GRAVELLY COARSE SAND	
76"-140" C2 COARSE SAND		76"-142" C2 COARSE SAND												72"-120" C2 COARSE SAND		48"-120" C2 MEDIUM SAND		48"-120" C2 MEDIUM SAND	
	55.61		54.43		53.64		53.90		54.29		54.78		53.72		54.40		54.32		54.40
D=11'-8" STANDING WATER 11'-5" (EL=55.86)		D=11'-10" STANDING WATER 11'-0" (EL=54.93)		D=10'-0" STANDING WATER 9'-0" (EL=54.64)		D=10'-0" STANDING WATER 9'-0" (EL=54.90)		D=10'-0" STANDING WATER 9'-0" (EL=55.29)		D=10'-0" STANDING WATER 9'-0" (EL=55.78)		D=10'-0" STANDING WATER 9'-0" (EL=55.72)		D=10'-0" STANDING WATER 9'-0" (EL=54.40)		D=10'-0" STANDING WATER 9'-0" (EL=54.32)		D=10'-0" STANDING WATER 8'-10" (EL=55.56)	

FOR REGISTRY USE ONLY

T.H.#4-1		T.H.#4-2		T.H.#4-3		T.H.#4-4		T.H.#5-1		T.H.#5-2		T.H.#5-3		T.H.#5-4	
EL. 64.77		EL. 64.85		EL. 64.93		EL. 64.64		EL. 65.24		EL. 66.05		EL. 63.95		EL. 63.21	
0'-12" A LOAM	63.77	0'-16" A LOAM	63.52	0'-18" A LOAM	63.43	0'-12" A LOAM	63.64	0'-10" A LOAM	64.40	0'-18" A LOAM	64.55	0'-12" A LOAM	62.95	0'-18" A LOAM	61.71
12"-30" B LOAMY SAND		16"-26" B LOAMY SAND		18"-32" B LOAMY SAND		12"-26" B LOAMY SAND		10"-30" B LOAMY SAND		18"-32" B LOAMY SAND		12"-24" B LOAMY SAND		18"-26" B LOAMY SAND	
	62.27		62.68		62.26		62.47		62.74		63.38		61.95		61.04
30"-117" C1 COARSE SAND	PERC ⊗	26"-130" C1 COARSE SAND	PERC ⊗	32"-120" C1 COARSE SAND		26"-132" C1 COARSE SAND	PERC ⊗	30"-120" C1 GRAVELLY COARSE SAND	PERC ⊗	32"-80" C1 GRAVELLY COARSE SAND	PERC ⊗	24"-52" C1 GRAVELLY COARSE SAND	PERC ⊗	26"-112" C1 COARSE SAND	PERC ⊗
28"-46" P.R.<2 MIN\IN		34"-52" P.R.=2 MIN\IN				36"-54" P.R.=2 MIN\IN		35"-53" P.R.=2 MIN\IN		28"-46" P.R.<2 MIN\IN	59.38	28"-46" P.R.<2 MIN\IN	59.61	36"-54" P.R.<2 MIN\IN	
	55.02		54.01		54.93		54.01		55.24		56.05		54.11		53.88
D=9'-9" STANDING WATER ⊗ 8'-0" (EL=56.77)		D=10'-10" MOTTLING ⊗ 8'-4" (EL=56.52)		D=10'-10" MOTTLING ⊗ 8'-4" (EL=56.60)		D=11'-0" MOTTLING ⊗ 6'-8" (EL=58.26)		D=10'-0" MOTTLING ⊗ 8'-6" (EL=56.43)		D=10'-0" STANDING WATER ⊗ 8'-4" (EL=57.72)		D=9'-10" STANDING WATER ⊗ 9'-2" (EL=54.78)		D=9'-4" STANDING WATER ⊗ 7'-10" (EL=55.37)	

T.H.#3	T.H.#4	T.H.#5	T.H.#6	T.H.#7
EL. 65.00	EL. 69.10	EL. 66.74	EL. 66.21	EL. 62.70
0'-8" A LOAM	0'-10" A LOAM	0'-9" A LOAM	0'-10" A LOAM	0'-20" A LOAM
64.33	68.27	65.99	65.37	61.03
8"-24" Bw SANDY LOAM	10"-22" Bw SANDY LOAM	9"-24" Bw SANDY LOAM	10"-22" Bw SANDY LOAM	20"-38" Bw SANDY LOAM
63.00	67.27	64.74	64.37	59.53
PERC	PERC	PERC	PERC	PERC
24"-42" C1 COARSE LOAMY SAND	30"-102" C1 COARSE LOAMY SAND	24"-100" C1 COARSE LOAMY SAND	30"-102" C1 COARSE LOAMY SAND	38"-108" C1 COARSE LOAMY SAND
36"-54" P.R.<2 MIN\IN 61.50	44"-62" P.R.=4 MIN\IN 60.60	30"-48" P.R.<2 MIN\IN 58.41	24"-42" P.R.<2 MIN\IN 57.71	38"-56" P.R.<2 MIN\IN 53.70
42"-80" C2 MEDIUM SAND	D=8'-6" STANDING WATER ☉ 7'-9" (EL=61.26)	100"-120" C2 FINE SAND	D=7'-2" STANDING WATER ☉ 7'-9" (EL=60.21)	108"-120" C2 COARSE SAND
58.33		56.74		52.70
80"-82" C2 FINE SANDY LOAM (REMOVE)				
58.33				
82"-126" C2 FINE SAND		D=10'-0" STANDING WATER ☉ 6'-0" (EL=60.74)		D=10'-0" WEEPING ☉ 6'-8" (EL=56.03)
54.50				
D=10'-6" WEEPING ☉ 6'-8" (EL=58.33)				

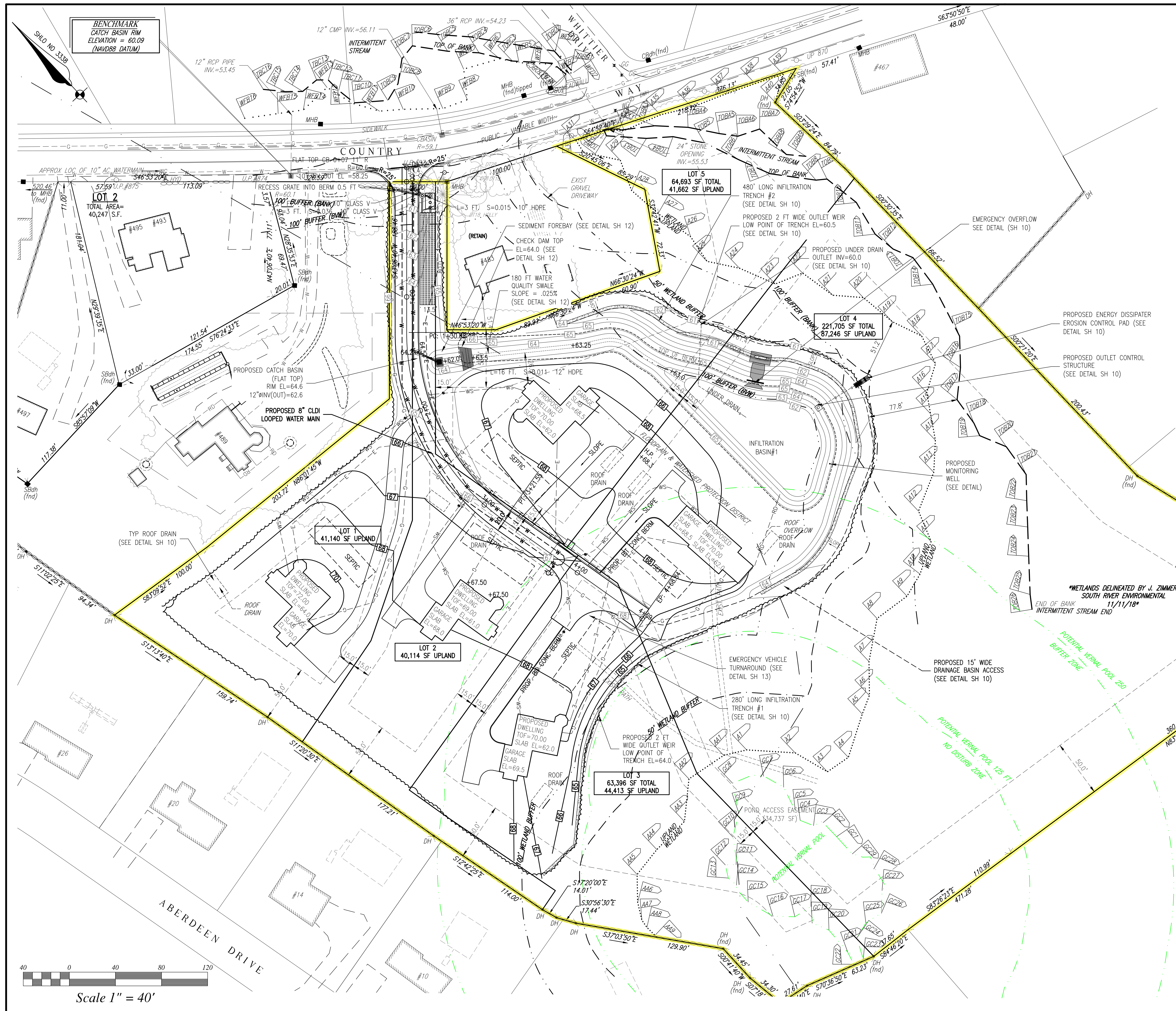
T.H.#D-1A		T.H.#D-2A		T.H.#D-3A	
EL.	<u>62.10</u>	EL.	<u>64.30</u>	EL.	<u>65.90</u>
0'-14" A LOAM	60.93	0'-16" A LOAM	62.97	0'-12" A LOAM	64.90
14"-40" B LOAMY SAND	50.76	16"-32" B LOAMY SAND	61.63	12"-32" B LOAMY SAND	63.21
40"-90" C COARSE SAND		32"-94" C COARSE SAND		32"-96" C COARSE SAND	
	54.60		56.40		57.90
D=7'-6" NO WATER (EL.=54.60)		D=7'-9" NO WATER (EL.=56.40)		D=8'-0" NO WATER (EL.=57.90)	

T.H.#1A		T.H.#2A		T.H.#3A		T.H.#4A		T.H.#5A		T.H.#6A	
EL.	65.64	EL.	65.10	EL.	65.77	EL.	64.84	EL.	64.72	EL.	66.52
0'-12" A LOAM	64.64	0'-8" A LOAM	64.43	0'-8" A LOAM	65.10	0'-8" A LOAM	64.17	0'-8" A LOAM	64.05	0'-10" A LOAM	65.68
12'-24" B LOAMY SAND	63.64	8'-24" B LOAMY SAND	63.10 PERC	8'-20" B LOAMY SAND	64.10 PERC	8'-18" B LOAMY SAND	63.34 PERC	8'-20" B LOAMY SAND	63.05	10'-26" B LOAMY SAND	64.35
24'-48" C1 MEDIUM SAND	61.64	24'-150" C1 COARSE SAND	40'-58" P.R.=7 MIN\N	20'-120" C COARSE SAND	24'-42" P.R.<2 MIN\N	18'-120" C COARSE SAND	40'-58" P.R.<2 MIN\N	20'-120" C COARSE SAND	54.72	26'-124" C COARSE SAND	56.18
48'-56" C2 LAOMY SAND	60.97										
56'-120" C2 COARSE SAND	55.64		52.60		55.77		54.84		54.72		56.18
D=10'-0" NO WATER (EL.=55.64)		D=12'-6" NO WATER (EL.=52.60)		D=10'-0" NO WATER (EL.=55.77)		D=10'-0" NO WATER (EL.=54.84)		D=10'-0" NO WATER (EL.=54.72)		D=10'-4" NO WATER (EL.=56.18)	

T.H.#D-4		T.H.#D-5		T.H.#D-6		T.H.#D-7		T.H.#D-8		T.H.#D-9	
EL.	61.13	EL.	64.45	EL.	66.83	EL.	60.35	EL.	62.45	EL.	64.09
0'-4" A SANDY LOAM	60.79	0'-4" A SANDY LOAM	64.12	0'-6" A SANDY LOAM	66.33	0'-6" A SANDY LOAM	59.85	0'-6" A SANDY LOAM	61.95	0'-6" A SANDY LOAM	63.59
4'-22" B SANDY LOAM	59.29	4'-24" B SANDY LOAM	62.45	4'-22" B SANDY LOAM	65.00	6'-22" B SANDY LOAM	58.52	6'-24" B SANDY LOAM	60.45	6'-22" B SANDY LOAM	62.26
22"-100" C MEDIUM SAND	52.80	24"-116" C MEDIUM SAND	54.78	22"-120" C MEDIUM SAND	56.83	22"-44" C1 MEDIUM SAND	56.68	24"-44" C1 LOAMY SAND	58.78	22"-44" C1 MEDIUM SAND	60.42
D=8'-4" MOTTLING ⊗ 8'-0" (EL.=53.13) WEEPING ⊗ 7'-9" (EL.=53.38)		D=9'-8" MOTTLING ⊗ 9'-0" (EL.=55.45)		D=10'-0" NO WATER		44"-62" C2 COARSE SAND	55.18	44"-58" C2 FINE SAND	57.61	44"-96" C2 FINE SAND	63.42
						D=5'-2" MOTTLING ⊗ 2'-6" (EL.=57.85)		58'-68" C2 COARSE SAND	56.78	D=5'-2" MOTTLING ⊗ 7'-10" (EL.=56.25)	
								D=5'-8" MOTTLING ⊗ 3'-10" (EL.=58.62)			

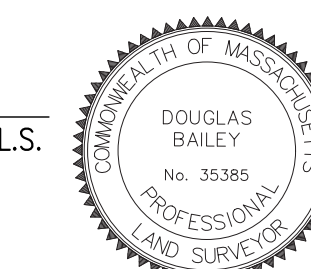
(TEST HOLES D-4 THROUGH D-9) BY KEVIN GRADY, GRADY

TESTHOLE DI ANI



I HEREBY CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

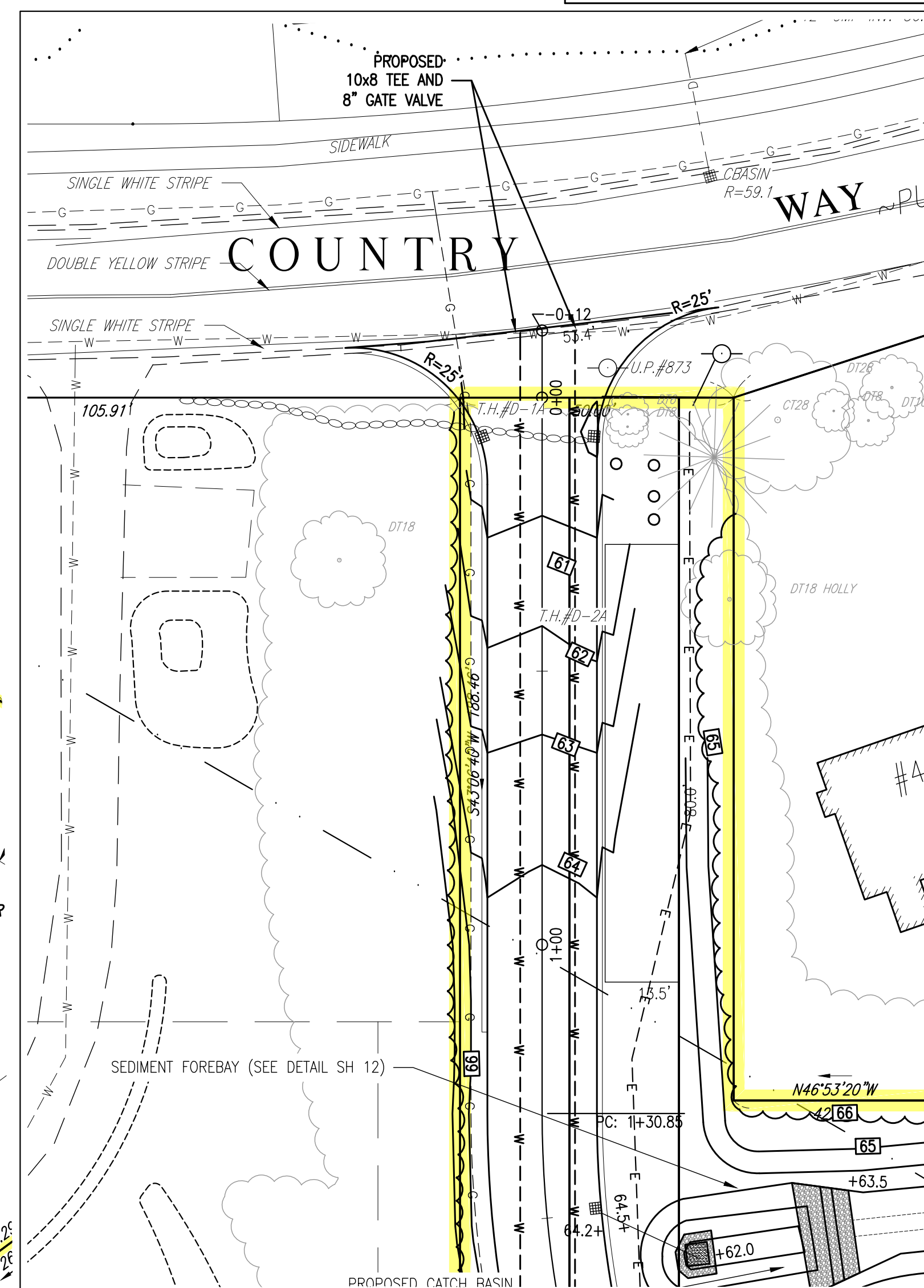
DOUGLAS BAILEY, P.L.S.



DATE

Douglas Bailey

FOR REGISTRY USE ONLY



ENTRANCE/UTILITY DETAIL
SCALE: 1"=20'

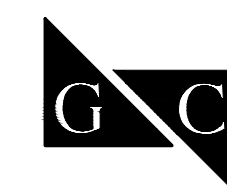
SPECIAL PERMIT PLAN

RESIDENTIAL COMPOUND DEVELOPMENT SUBDIVISION

0 & 483 COUNTRY WAY SCITUATE, MASSACHUSETTS

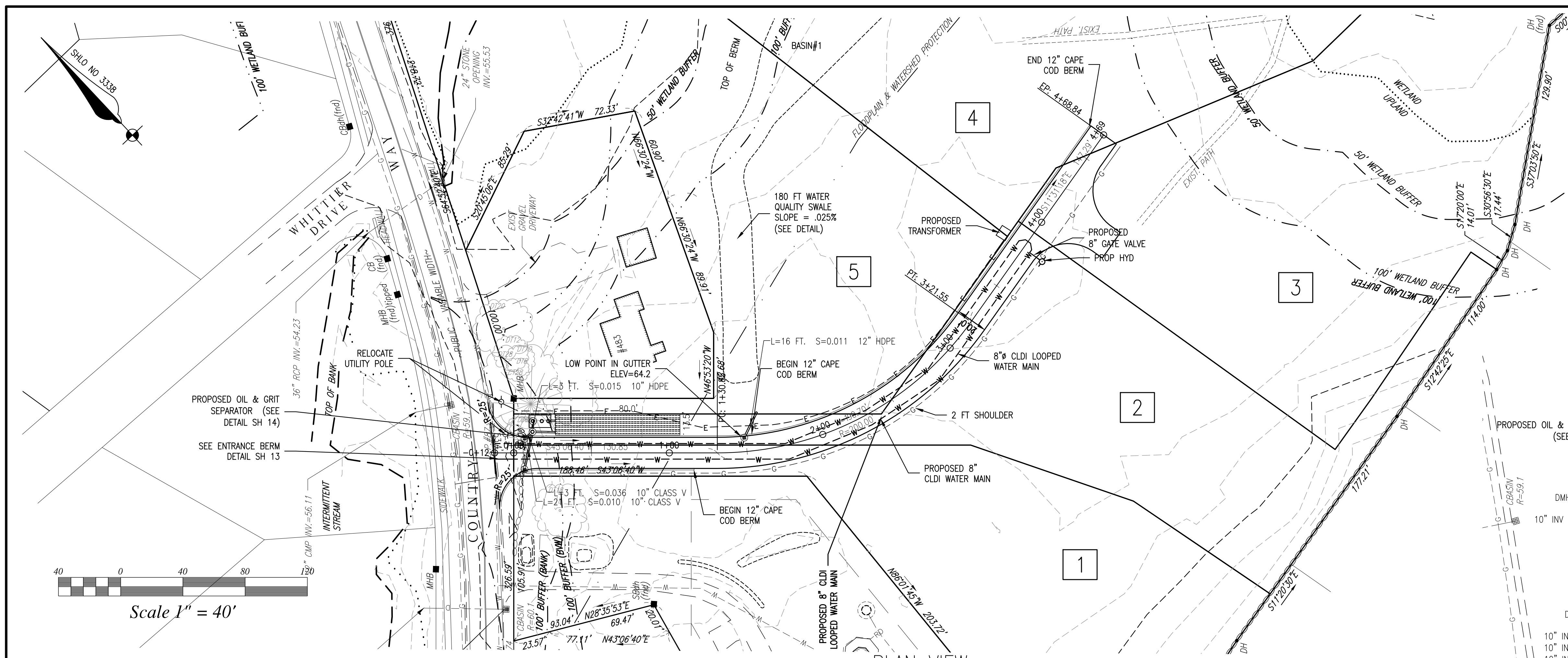
PREPARED FOR:
BRADFORD A. MERRITT
493 COUNTRY WAY
SCITUATE, MA 02066

MAY 28, 2019
SCALE: 1"=40'
JOB No. 18-312



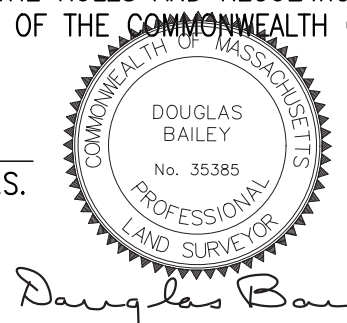
GRADY CONSULTING, L.L.C.
Civil Engineers, Land Surveyors &
Landscape Architects
71 Evergreen Street, Suite 1, Kingston, MA 02364
Phone (781) 585-2300 Fax (781) 585-2378

UTILITIES



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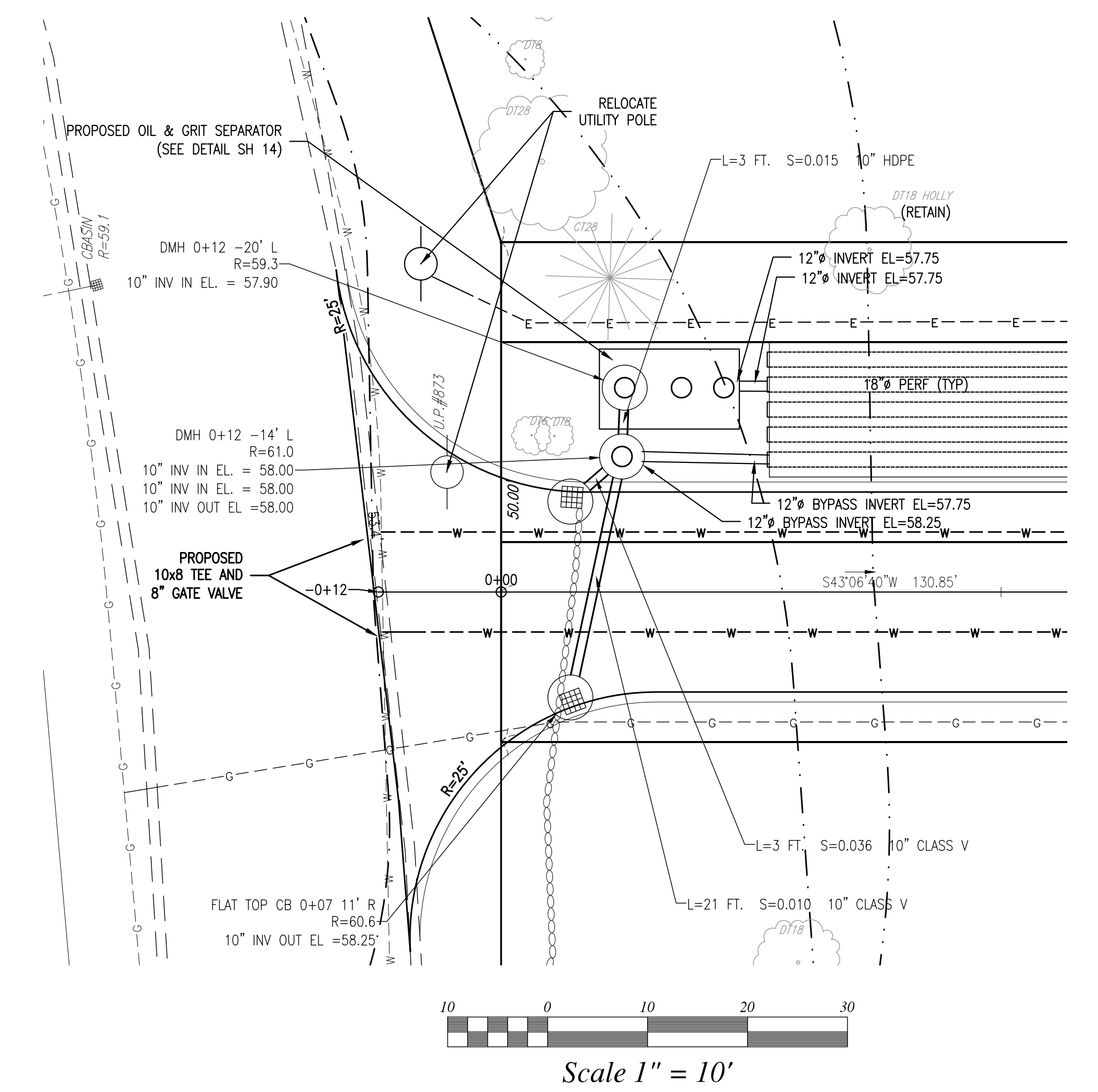
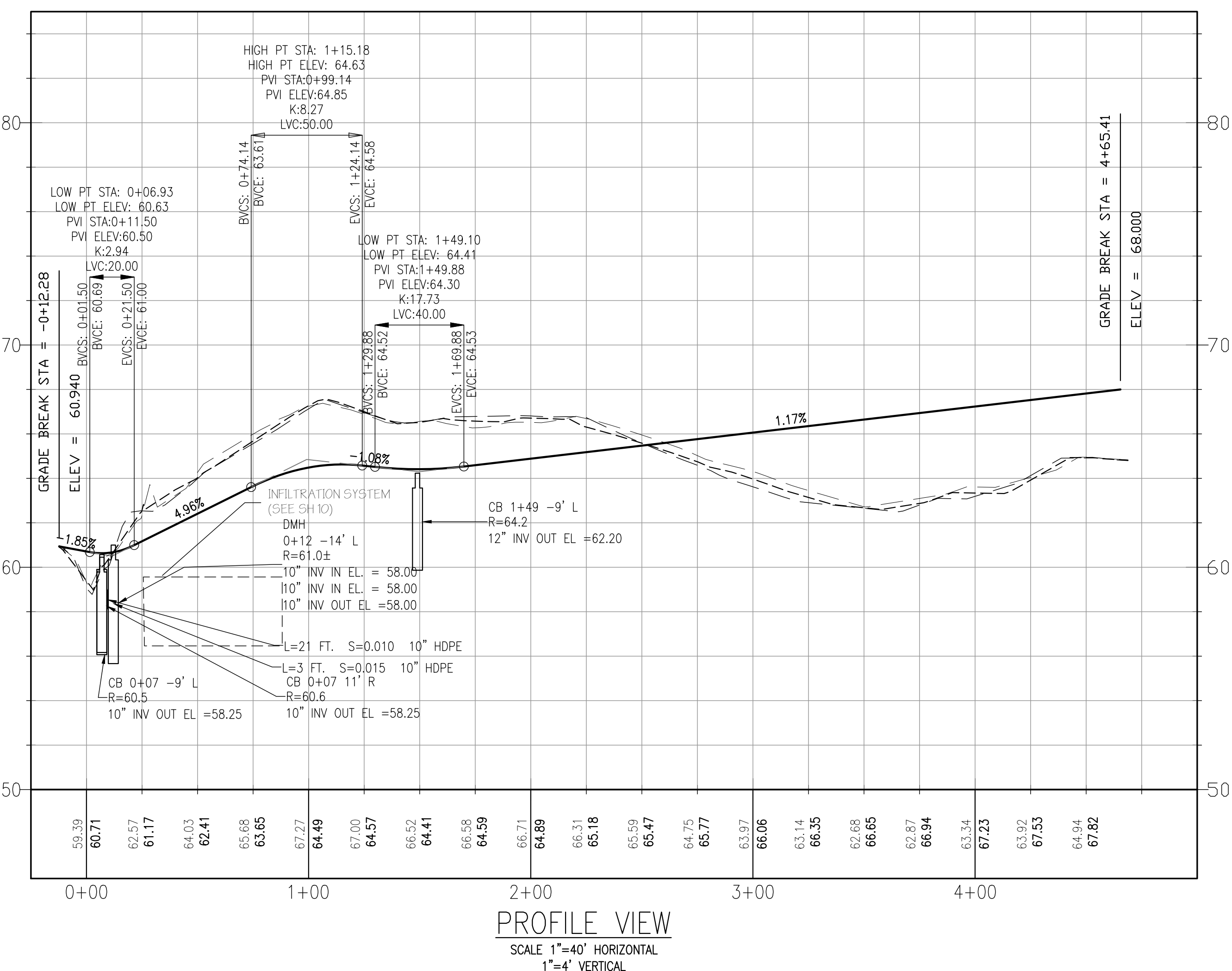
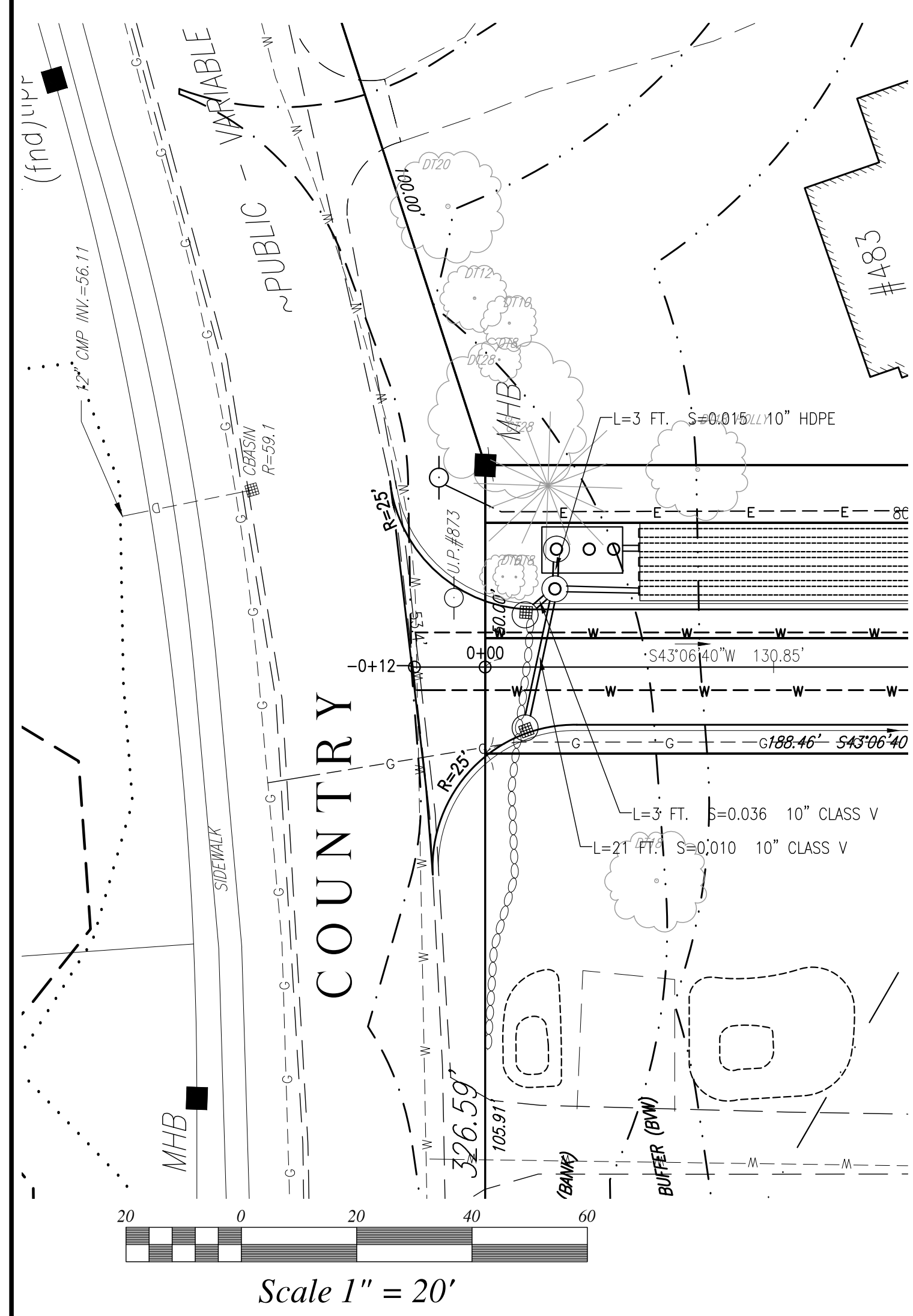
DOUGLAS BAILEY, P.L.S.



DATE

Douglas Bailey

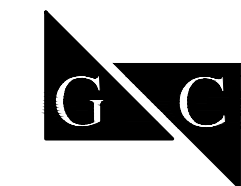
FOR REGISTRY USE ONLY



SPECIAL PERMIT PLAN **RESIDENTIAL COMPOUND** **DEVELOPMENT SUBDIVISION** **0 & 483 COUNTRY WAY** **SCITUATE, MASSACHUSETTS**

PREPARED FOR:
 BRADFORD A. MERRITT
 493 COUNTRY WAY
 SCITUATE, MA 02066

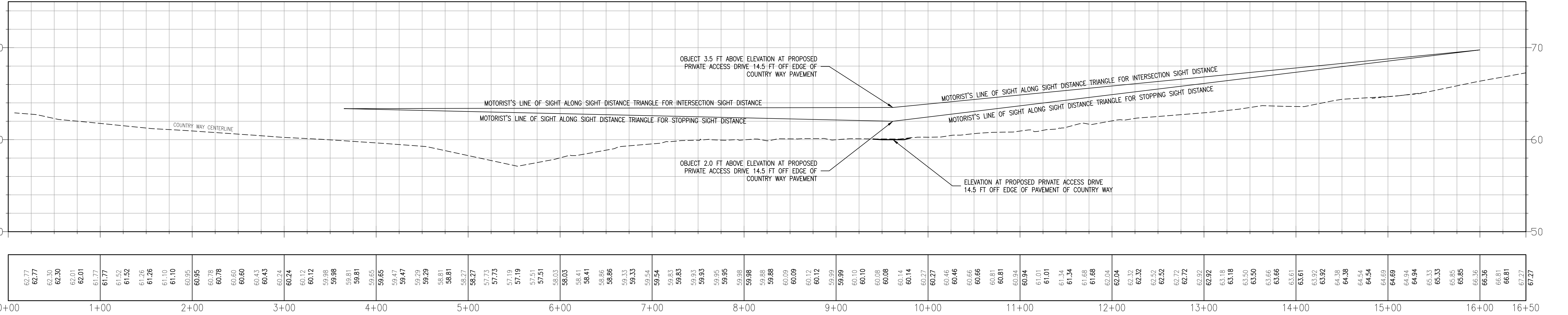
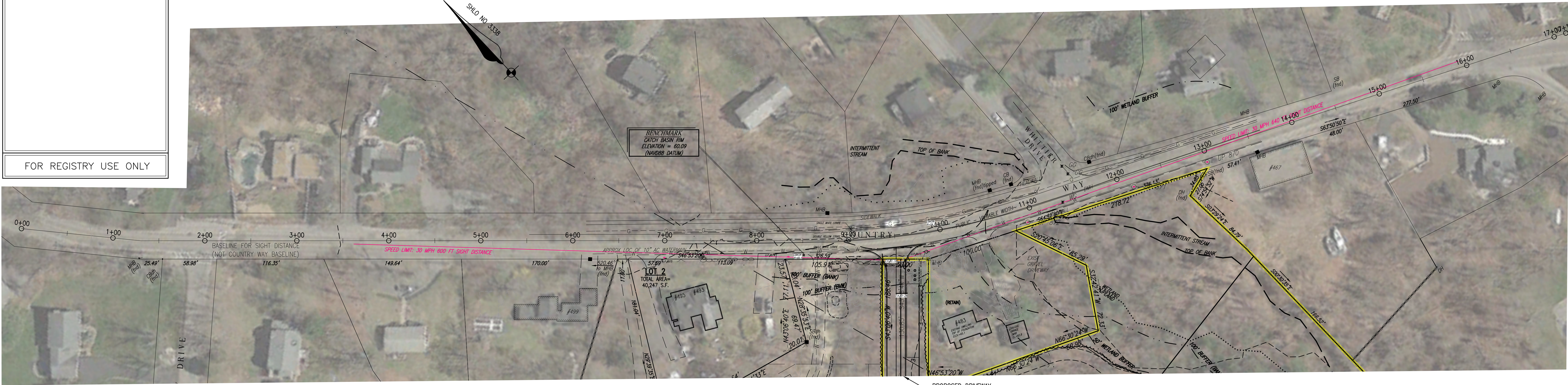
MAY 28, 2019
 SCALE: 1"=40'
 JOB No. 18-312



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PLAN & PROFILE

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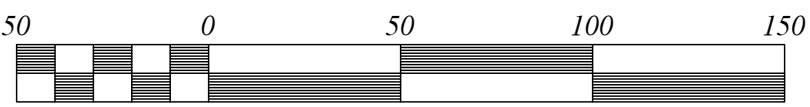


- NOTES:
1. SIGHT DISTANCES SHOWN HEREON ARE BASED UPON THE AASHTO TRAFFIC CODE, 6TH EDITION, PER SECTION 720.7(K) OF THE SCITUATE ZONING BY LAW COMMON DRIVEWAY DESIGN STANDARDS.
 2. POSTED SPEED LIMIT AT DRIVEWAY INTERSECTION IS 30 MPH.
 3. AASHTO SECTION 1340 DIAGRAM 3 REQUIRES A 250' STOPPING DISTANCE FROM A DRIVEWAY FOR A POSTED SPEED LIMIT OF 35 MPH.
 4. INTERSECTION LINE OF SIGHT MAY BE TAKEN FROM ANY POINT FROM 10' TO 18' OFF THE EDGE OF ROADWAY PAVEMENT PER AASHTO SECTION 1340.
 5. FOR INTERSECTION SIGHT DISTANCE STUDIES THE HEIGHT OF MOTORISTS EYE IS 3.5' AND THE HEIGHT OF APPROACHING OBJECT IS 3.5' PER AASHTO.
 6. FOR STOPPING SIGHT DISTANCE THE HEIGHT OF MOTORISTS EYE IS 3.5' AND THE HEIGHT OF OBJECT IS 2.0' PER AASHTO.

POSTED SPEED LIMIT 30 MPH
STOPPING SIGHT DISTANCE
INTERSECTION SIGHT DISTANCE

REQUIRED
140 FT
335 FT

PROVIDED
600+ FT
600+ FT



Scale 1" = 50'

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DOUGLAS BAILEY, P.L.S.



DATE

Douglas Bailey

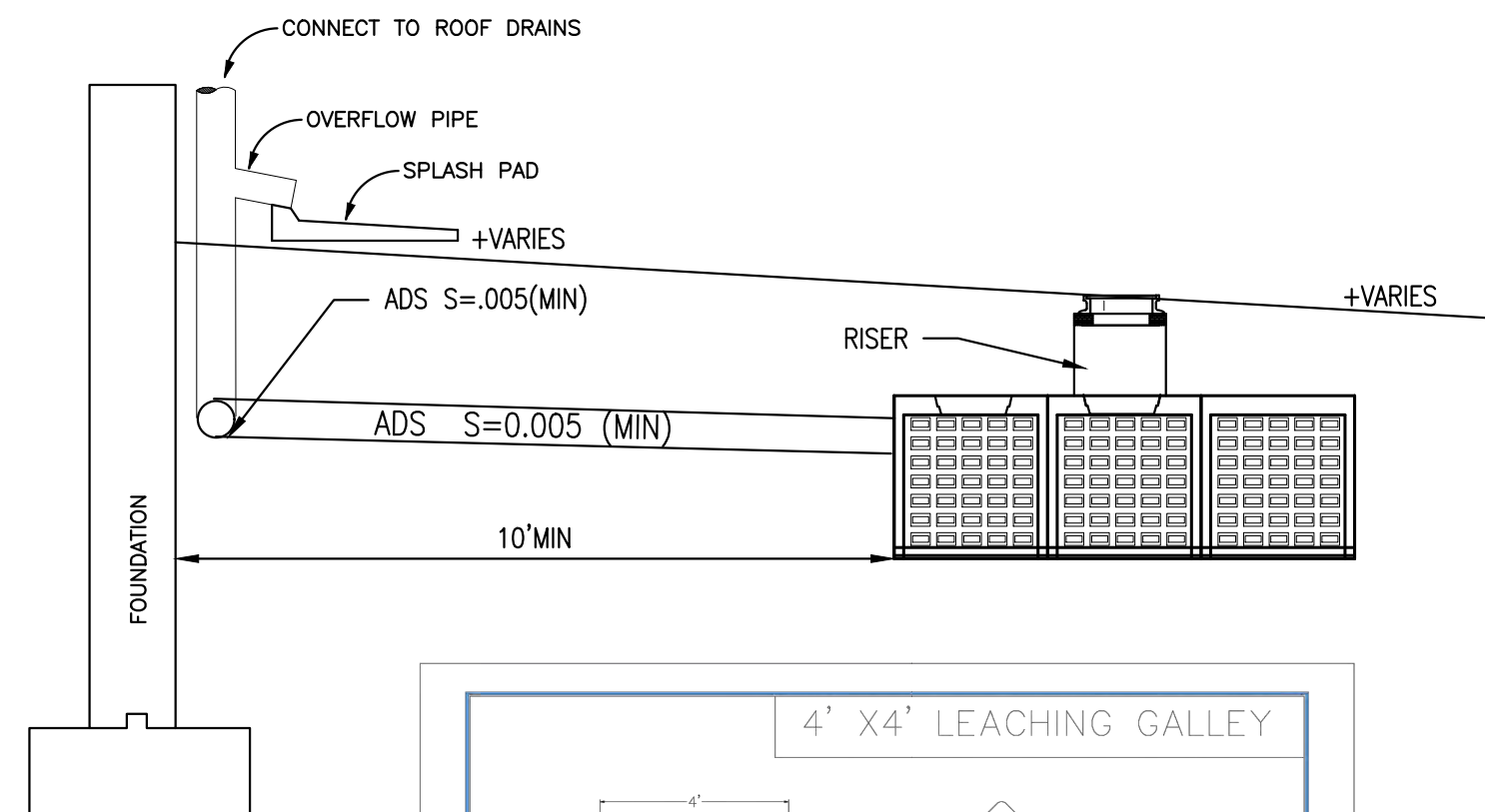
SPECIAL PERMIT PLAN
RESIDENTIAL COMPOUND
DEVELOPMENT SUBDIVISION
0 & 483 COUNTRY WAY
SCITUATE, MASSACHUSETTS

PREPARED FOR:
BRADFORD A. MERRITT
493 COUNTRY WAY
SCITUATE, MA 02066

MAY 28, 2019
SCALE: 1"=40'
JOB No. 18-312



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INDIVIDUAL LOT DEVELOPMENTS TO INCLUDE ROOF DRAIN DESIGN IN CONFORMANCE WITH ZBL 520.4.D.1

INDIVIDUAL LOT ROOF DRAIN DESIGN ASSUMES 3000 SF ROOF. 3000 SF x 1IN/12(IN/FT)=250 SF STORAGE REQUIRED

POSSIBLE OPTIONS FOR INDIVIDUAL LOT ROOF SYSTEMS INCLUDE (TO BE DESIGNED DURING INDIVIDUAL LOT DEVELOPMENTS DEPENDING UPON HOUSE AND LOT DESIGN, TO BE PERMITTED BY BUILDING DEPARTMENT/ ZONING ENFORCEMENT OFFICER):

1. 4-4'x4' x 4' PRECAST GALLEYS WITH 12" OF STONE AROUND AND 6" OF STONE ABOVE AND BELOW CHAMBERS (313 CF STORAGE)
2. 4-ADS SC-740 CHAMBERS WITH 12" OF STONE AROUND AND 6" OF STONE ABOVE AND 6" BELOW CHAMBERS (299 CF STORAGE)
3. 4-20 FT LONG 12"Ø ADS N-12 PIPE WITH 12" OF STONE AROUND AND 6" OF STONE ABOVE AND 6" BELOW CHAMBERS (263 CF STORAGE)

ROOF DRAIN DETAIL SUBSURFACE GALLEY SYSTEM (NOT TO SCALE)

4' x 4' LEACHING GALLEY

DESIGN NOTES:

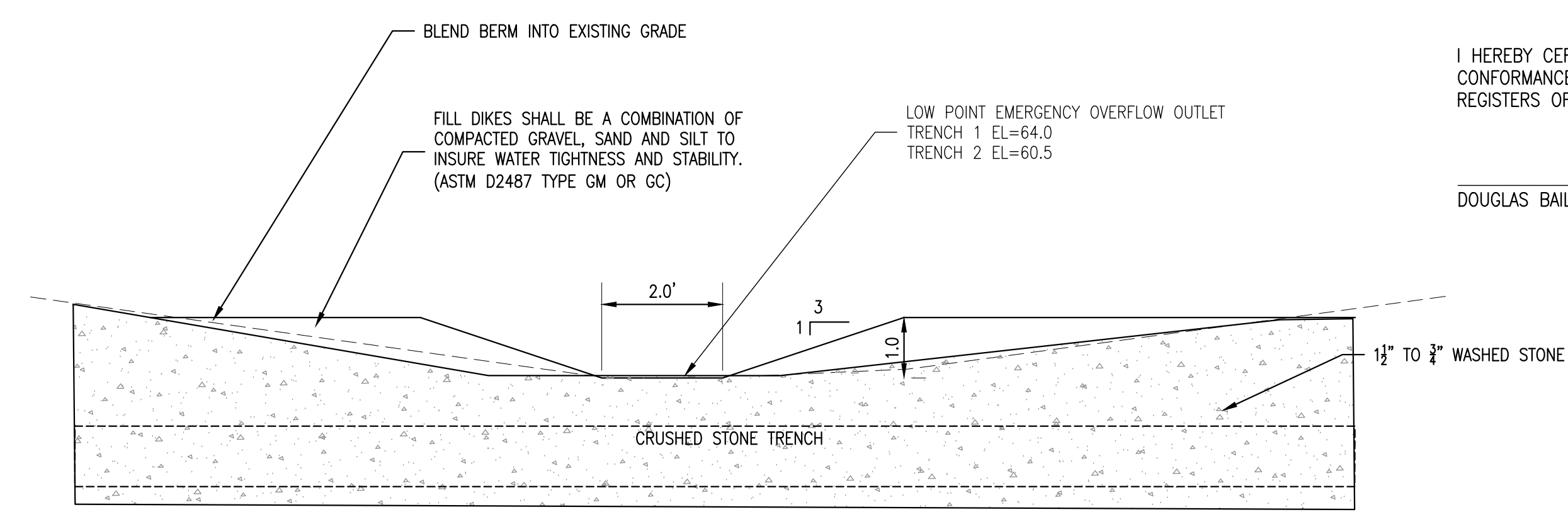
1. CONCRETE STRENGTH 5,000 PSI @ 28 DAYS
2. STEEL REINFORCEMENT PER ASTM A-615, GRADE-60
3. DESIGN LOADING H-20 WITH 12" TO 60" OF COVER
4. AVAILABLE IN 4' SECTIONS FOR ANY DESIRED LENGTH ALSO AVAILABLE IN 4'-SIDED STAND ALONE GALLEY

WEIGHT CHART		LEACHING DATA	
PRODUCT	APPROX. WEIGHT (LBS)	FLOW RATE (GAL/HR)	LEACHING CAPACITY (GALLONS)
4' x 4' x 4' SECTION	2400 lbs	240	36.8
4' x 4' x 4' END	2400 lbs	240	36.8
4' x 4' x 4' 4-SIDED	2720 lbs	240	36.8

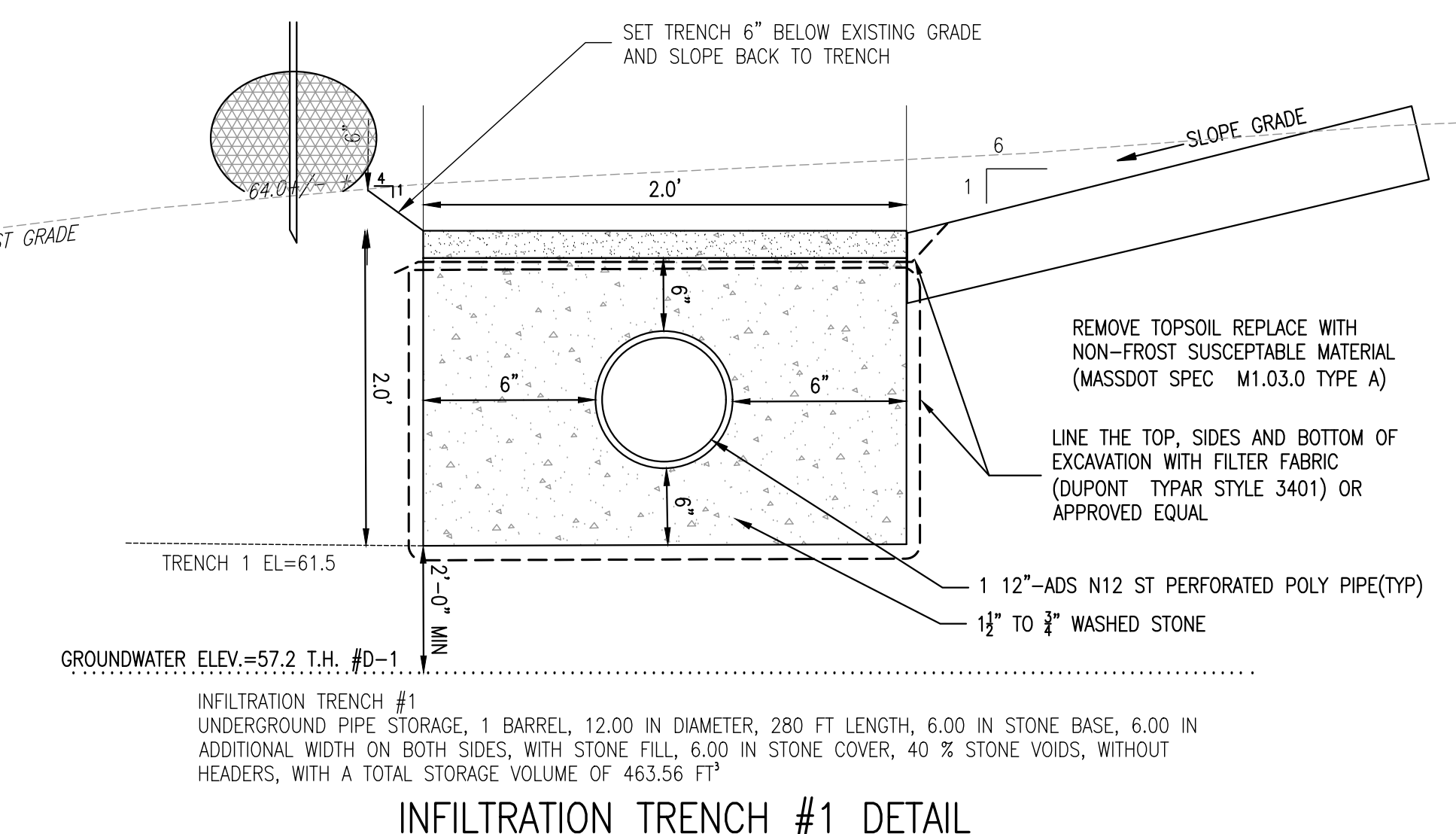
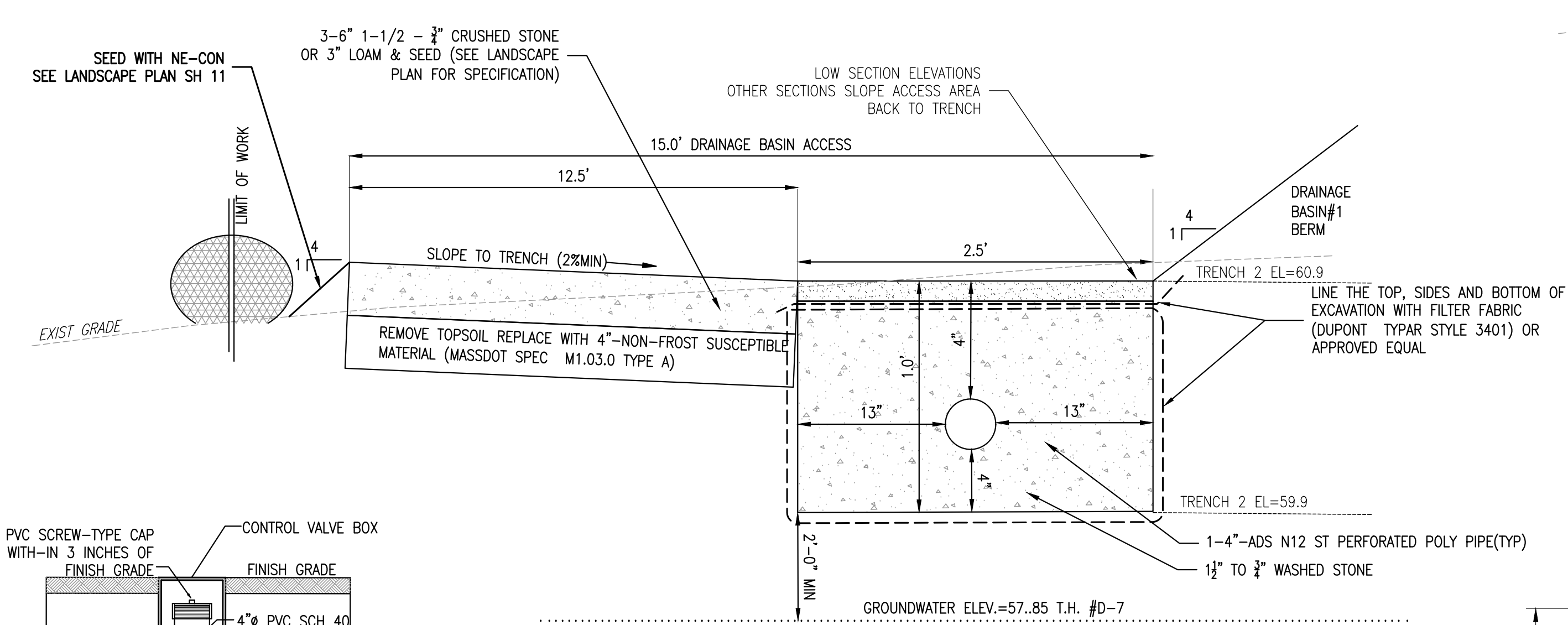
SCITUATE COMPANIES
125 GLENN RD. WILMINGTON, MA 01903
PHONE # 1-800-443-0009 FAX # 781-881-4300

CONTRACTOR: _____ JOB NAME: _____
DATE: _____ DRAWING: SRP-GAL DRAWING BY: C.J. SCOTT

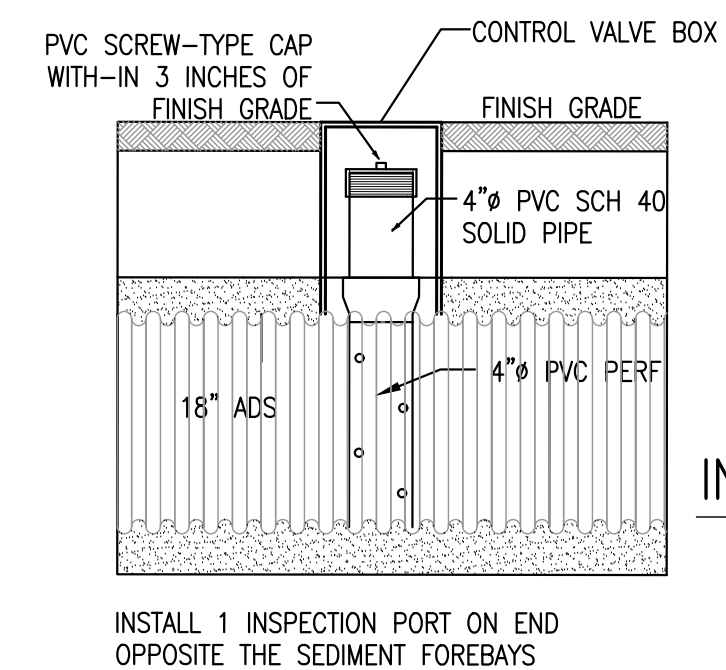
WWW.SCITUATECOMPANIES.COM



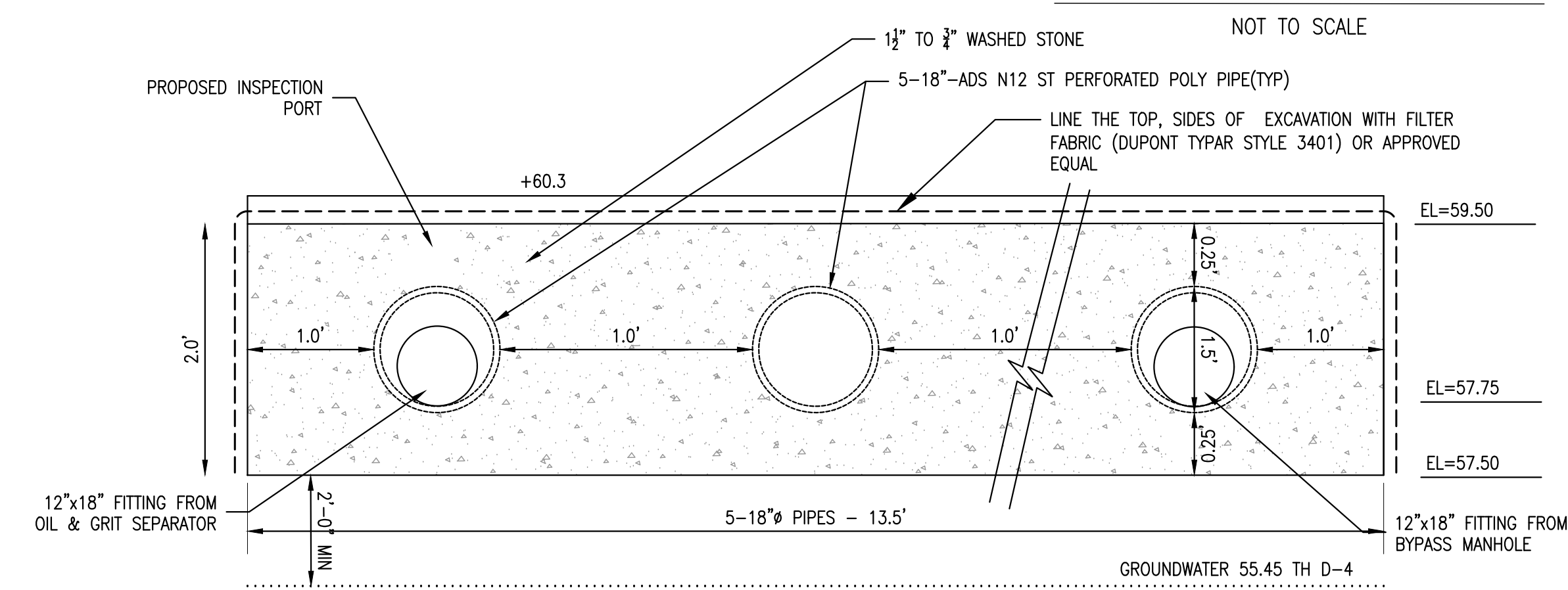
INFILTRATION TRENCH OUTLET WEIR DETAIL (NOT TO SCALE)



INFILTRATION TRENCH #2 DETAIL & DRAINAGE BASIN ACCESS DETAIL (NOT TO SCALE)

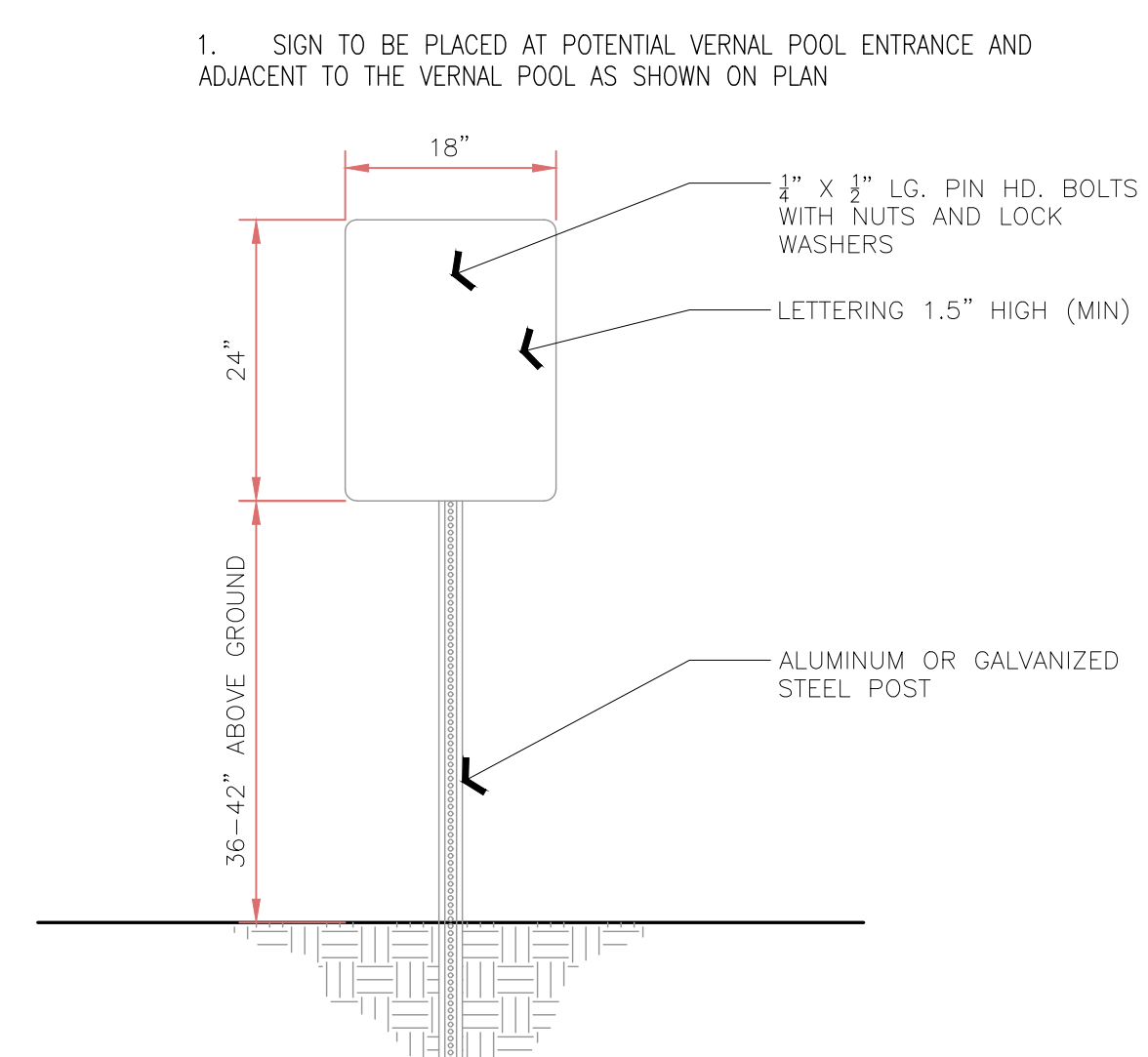


INSPECTION PORT DETAIL (NOT TO SCALE)

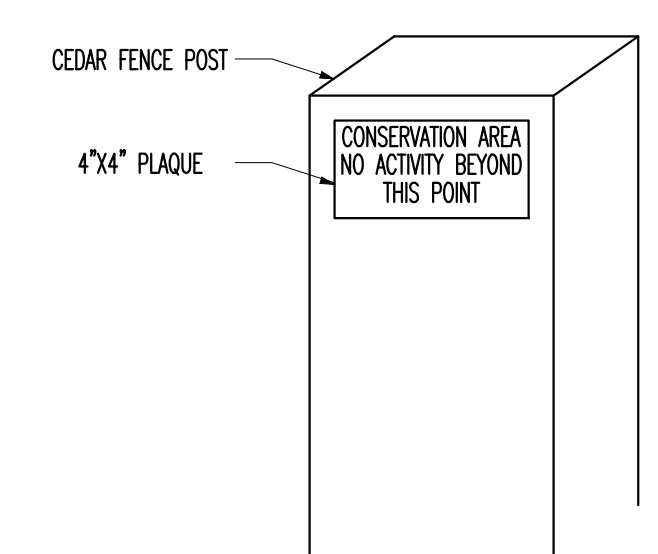


UNDERGROUND PIPE STORAGE, 5 BARRELS, 18.00 IN DIAMETER, 80 FT LENGTH, 3.00 IN STONE BASE, 1.00 IN ADDITIONAL WIDTH ON BOTH SIDES, WITH STONE FILL, 3.00 IN STONE COVER, 40 % STONE VOIDS, WITHOUT HEADERS, WITH A TOTAL STORAGE VOLUME OF 933.04 FT³

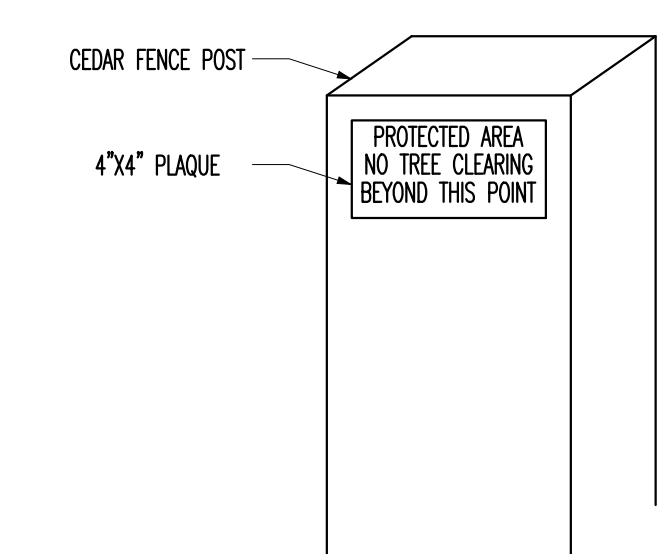
SUBSURFACE SYSTEM (BASIN#2) (NOT TO SCALE)



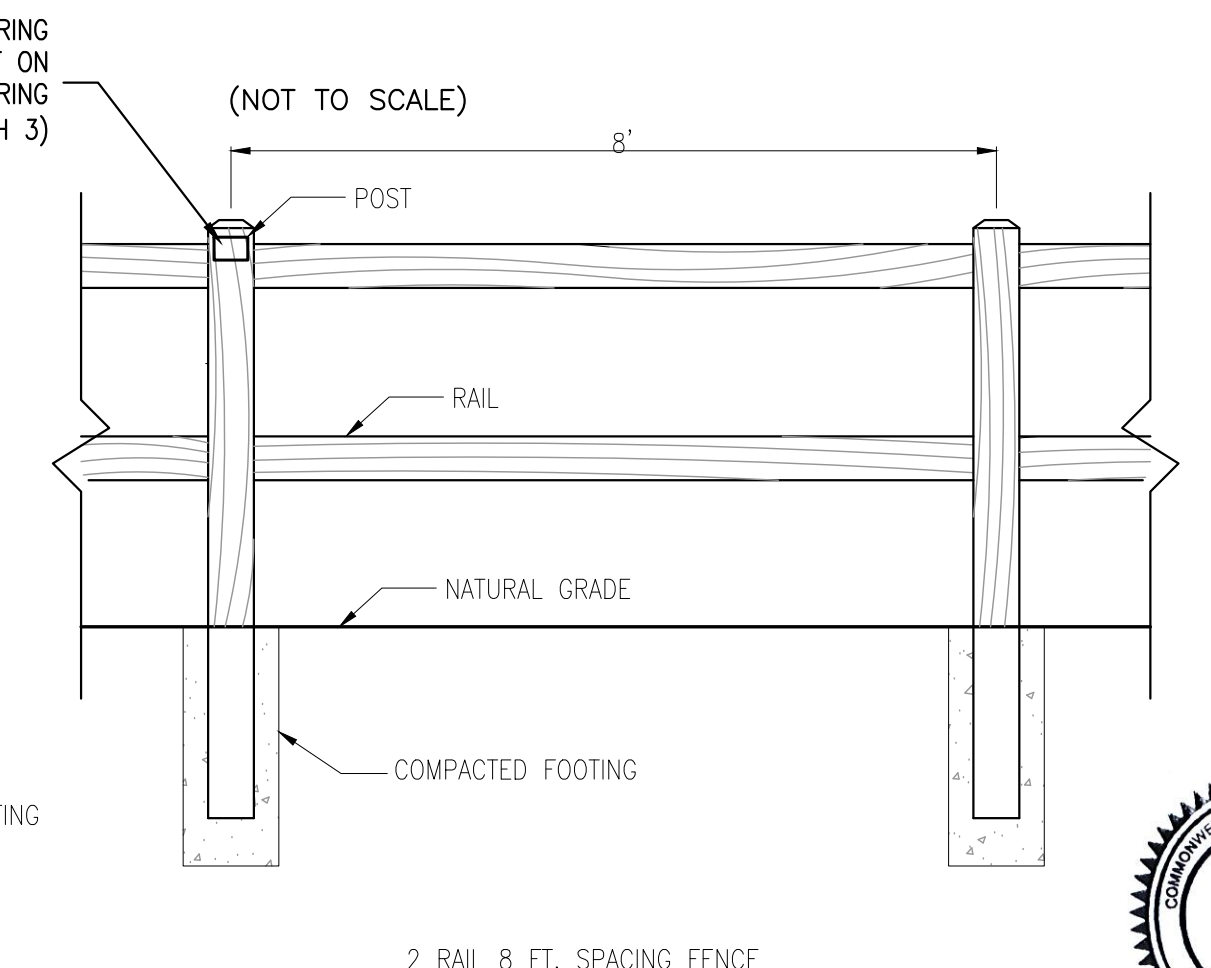
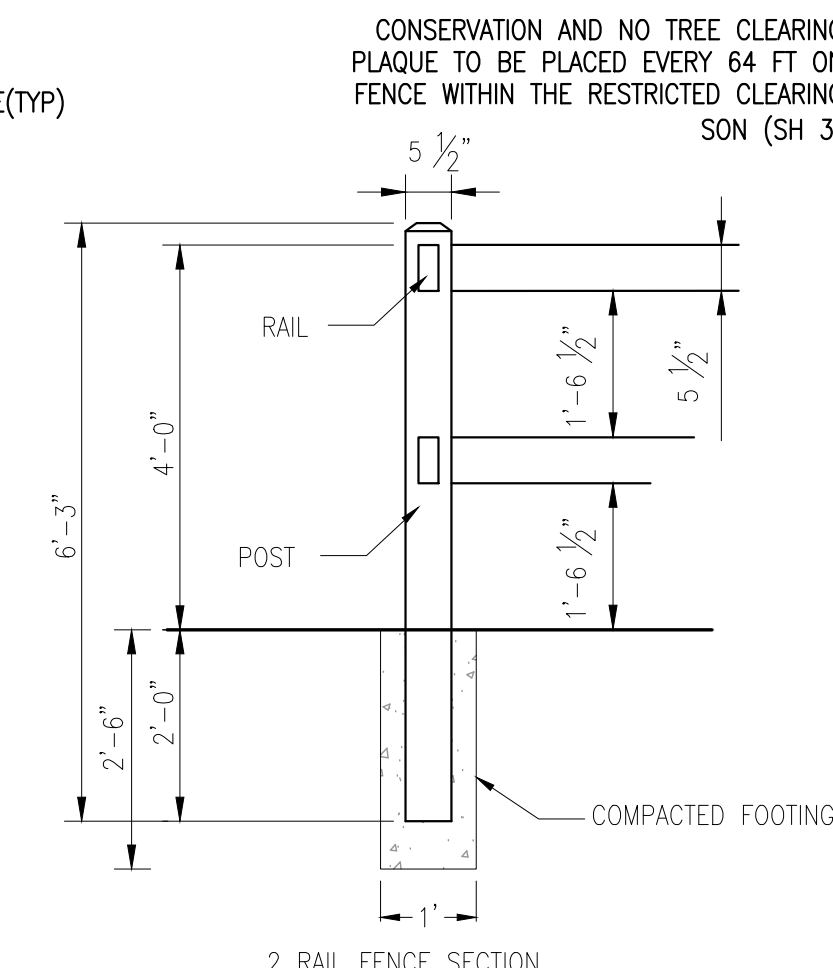
CONSERVATION SIGN DETAIL 3/4" = 1'-0" P-1-320101-01



CONSERVATION AREA SIGN DETAIL (NOT TO SCALE)



RESTRICTED CLEARING AREA SIGN DETAIL (NOT TO SCALE)

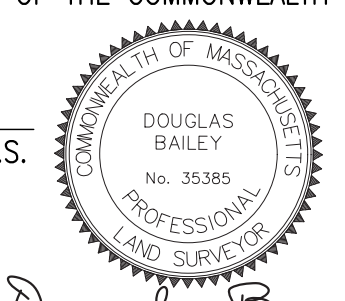


SPLIT RAIL FENCE DETAIL N.T.S.

I HEREBY CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

DOUGLAS BAILEY, P.L.S. DATE _____

Douglas Bailey



FOR REGISTRY USE ONLY

SPECIAL PERMIT PLAN RESIDENTIAL COMPOUND DEVELOPMENT SUBDIVISION 0 & 483 COUNTRY WAY SCITUATE, MASSACHUSETTS

PREPARED FOR:
BRADFORD A. MERRITT
493 COUNTRY WAY
SCITUATE, MA 02066

MAY 28, 2019
SCALE: AS NOTED
JOB No. 18-312

GRADY CONSULTING, L.L.C.
Civil Engineers, Land Surveyors & Landscape Architects
71 Evergreen Street, Suite 1, Kingston, MA 02364
Phone (781) 585-2300 Fax (781) 585-2378

DETAILS

WATER SPECIFICATIONS

- RESILIENT SEATED WEDGE GATE VALVES
- a. VALVES SHALL BE IRON BODY, BL-DIRECTIONAL, RESILIENT TYPE, DESIGNED FOR 200 PSI WORKING PRESSURE AND CONFORM TO THE LATEST REVISION OF AWWA C-509-87.
 - b. VALVES SHALL HAVE O RING SEALS, NON-RISING SEAM AND 2" OPERATING VALVES SHALL OPEN LEFT.
 - c. VALVES SHALL HAVE MECHANICAL JOINT END, UNLESS OTHERWISE NOTED.
 - d. VALVES INTERIORS AND EXTERIORS SHALL BE EPOXY COOLED IN ACCORDANCE WITH AWWA SPECIFICATION C-550.
 - e. VALVES SHALL BE AS MANUFACTURED MUELLER, CLOW OR AMERICAN DARLING.

- VALVE BOXES
- a. VALVE BOXES SHALL BE CAST IRON, TOR COATED, TELESOPING HEAVY POHERN TYPE, CONSISTING OF FLANGED BOTTOM, FLANGED TOP AND COVER WITH THE WORD "WATER" COST IN THE COVER.

- FITTINGS
- a. FITTINGS SHALL BE FULL FLOW, COMPACT SIZE CONFORMING TO THE LATEST REVISION OF AWWA SPECIFICATION C-153 AND HAVE A WORKING PRESSURE RATINGS OF 200 PSI.
 - b. UNLESS OTHERWISE APPROVED, ALL FITTINGS SHALL HOVE MECHANICAL JOINT ENDS WITH APPROPRIATE GLANDS, GASKETS, NUTS, BOLTS AND ACCESSORIES.
 - A. RESTRAINED JOINTS FOR MECHANICAL JOINT FITTINGS SHALL BE MECHANICAL AS MANUFACTURED BY EBBA IRON CO.

- DUCTILE IRON
- a. ALL DUCTILE IRON PIPE SHALL BE DESIGNED IN ACCORDANCE WITH ANS A21.50 AND MANUFACTURED IN ACCORDANCE WITH ANS A21.51.
 - b. ALL DUCTILE IRON PIPE SHALL BE CEMENT LINED CLASS 52 WITH AN EXTERIOR TAR COAT IN ACCORDANCE WITH ANS 21.50/SAWWA C150/ANWA C111.
 - c. ALL DUCTILE IRON PIPE SHALL BE CEMENT LINED IN ACCORDANCE WITH ANS A21.4.
 - d. ALL PIPE JOINTS SHALL BE OF THE BELL SPIGOT TYPE.

- METALLIC INDICATOR TAPE
- a. METALLIC INDICATOR LOPE WITH "CAUTION WATER MAIN BURIED BELOW" SHALL BE PLACED IN TRENCH 1' FROM FINAL GRADE.

- CORPORATION STOP
- a. THE CORPORATION STOP SHALL BE OF OIL BRONZE CONSTRUCTIONS, THE INLET THREAD SHALL BE OF C.C. TYPE. OUTLET CONNECTIONS SHALL BE COMPRESSION SUITABLE FOR USE WITH TYPE K COPPER TUBING.
 - B. FOR PURPOSES OF STANDARDIZATION, CORPORATION STOP SHALL BE MODEL F-1000CC A& MANUFACTURED BY THE FORD METER BOX CO.,

- CURB STOPS
- a. CURB STOPS SHALL BE OF ALL BRONZE CONSTRUCTION WITH A DRAIN AND INLET AND OUTLET COMPRESSION CONNECTION SUITABLE FOR USE WITH TYPE K COPPER TUBING. CURB STOPS SHALL OPEN LEFT.
 - B. FOR PURPOSES OF STANDARDIZATION, THE CURB STOP SHALL BE MODEL NO. 244-444SW OS MANUFACTURED BY THE FORD METER BOX CO.

- CURB BOX
- a. THE CURB BOX SHALL BE COST IRON TAR COATED TELESOPING "ERIES" TYPE WITH ROD, CONSISTING OF A BOTTOM, TOP AND COVER SECURED BY C PENTAGON NUT.

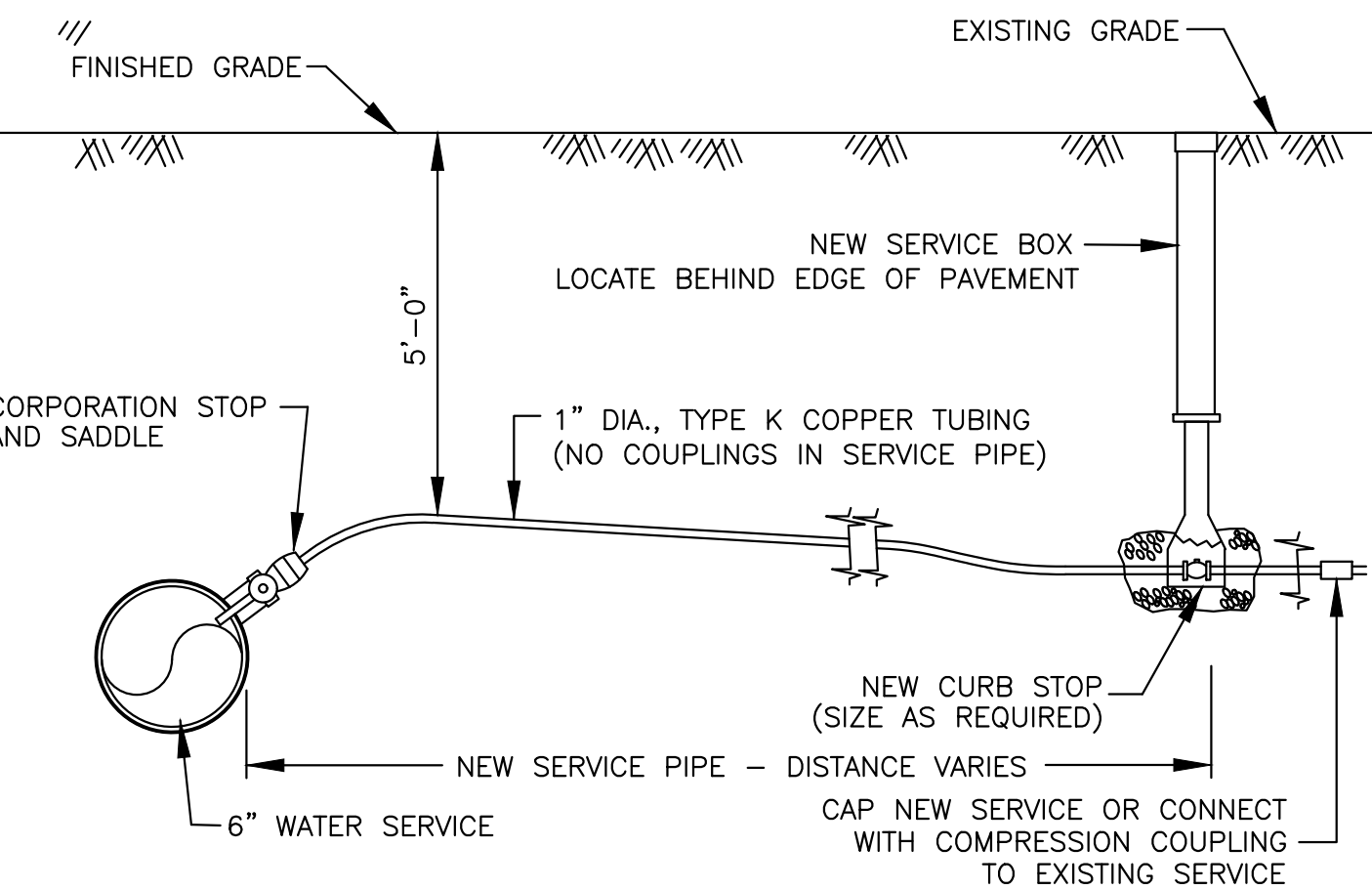
- SADDLES
- a. SADDLES FOR SERVICE CONNECTIONS SHALL BE ALL BRASS WITH A MINIMUM 1" CC OUTLET.
 - b. FOR THE PURPOSES OF STANDARDIZATION, THE SADDLE SHALL BE MODEL 202-B5-1110X4CC AS MANUFACTURED BY THE FORD METER CO.

- SERVICE CONNECTIONS
- a. ALL SERVICE CONNECTIONS SHALL CONSIST OF O SADDLE, CORPORATION STOP, CURB STOP, CURB BOX, COPPER TYPE K TUBING, STAINLESS STEEL INSERTS AND METALLIC INDICATOR TAPE.

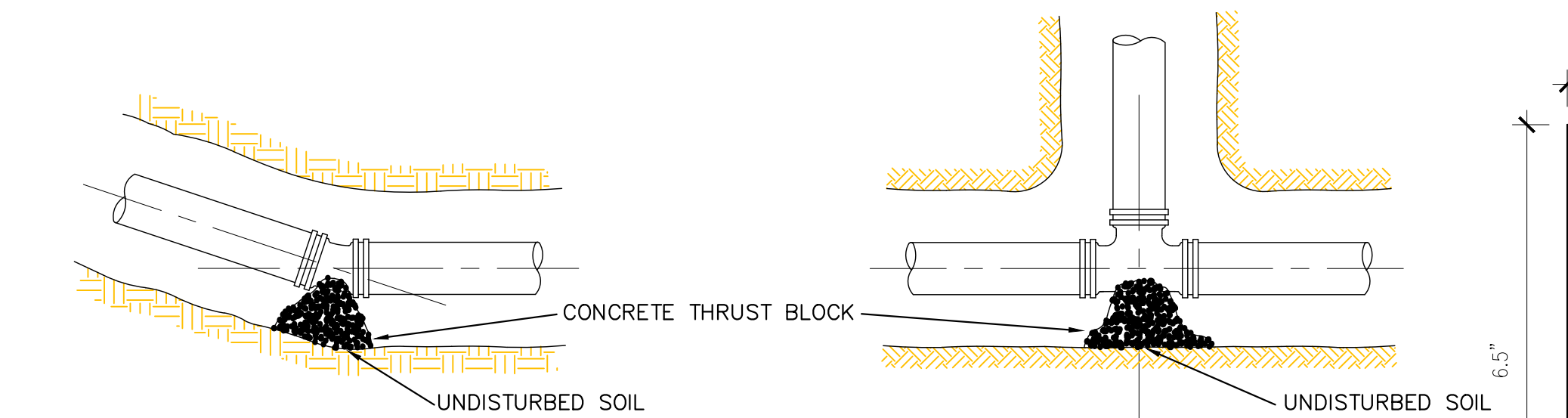
- HYDRANTS
- a. ALL HYDRANTS SHALL BE THE MUELLER SUPER CENTURION.

WATER SUPPLY NOTES

1. THERE SHALL BE NO PHYSICAL CONNECTION BETWEEN A PUBLIC OR PRIVATE POTABLE WATER SUPPLY SYSTEM AND A SEWER, OR APPURTENANCE THERETO WHICH WOULD PERMIT THE PASSAGE OF ANY WASTEWATER OR POLLUTED WATER INTO THE POTABLE SUPPLY.
2. SEWER LINES MAY BE LAID CLOSER THAN 10 FEET TO A WATER MAIN PROVIDED THAT IT IS
 - A. LAID IN A SEPARATE TRENCH, AND
 - B. THE ELEVATION OF THE TOP(CROWN) OF THE SEWER IS AT LEAST 18 INCHES BELOW THE BOTTOM(INVERT) OF THE WATER MAIN.
3. WHENEVER SEWERS MUST CROSS UNDER WATER MAINS, THE SEWER SHALL BE LAID AT SUCH AN ELEVATION THAT THE TOP OF THE SEWER IS AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER MAIN. WHEN THE ELEVATION OF THE SEWER CANNOT BE VARIED TO MEET THIS REQUIREMENT, THE WATER MAIN SHALL BE RELOCATED TO PROVIDE THIS SEPARATION OR RECONSTRUCTED WITH MECHANICAL JOINT PIPE FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE SEWER. ONE FULL LENGTH OF WATER MAIN SHOULD BE CENTERED OVER THE SEWER SO THAT BOTH JOINTS WILL BE AS FAR FROM THE SEWER AS POSSIBLE.
4. WHEN IT IS IMPOSSIBLE TO OBTAIN PROPER HORIZONTAL AND VERTICAL SEPARATION AS STIPULATED ABOVE, BOTH THE WATER MAIN AND SEWER SHALL BE CONSTRUCTED OF MECHANICAL JOINT CAST IRON PIPE AND SHALL BE PRESSURE TESTED TO ASSURE WATERTIGHTNESS.



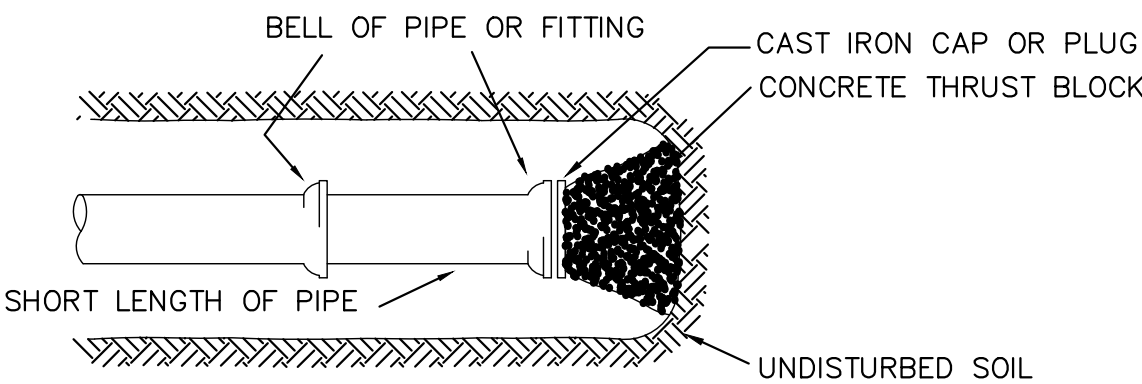
1.5"Ø DOMESTIC WATER SERVICE DETAIL



PLAN HORIZONTAL BEND

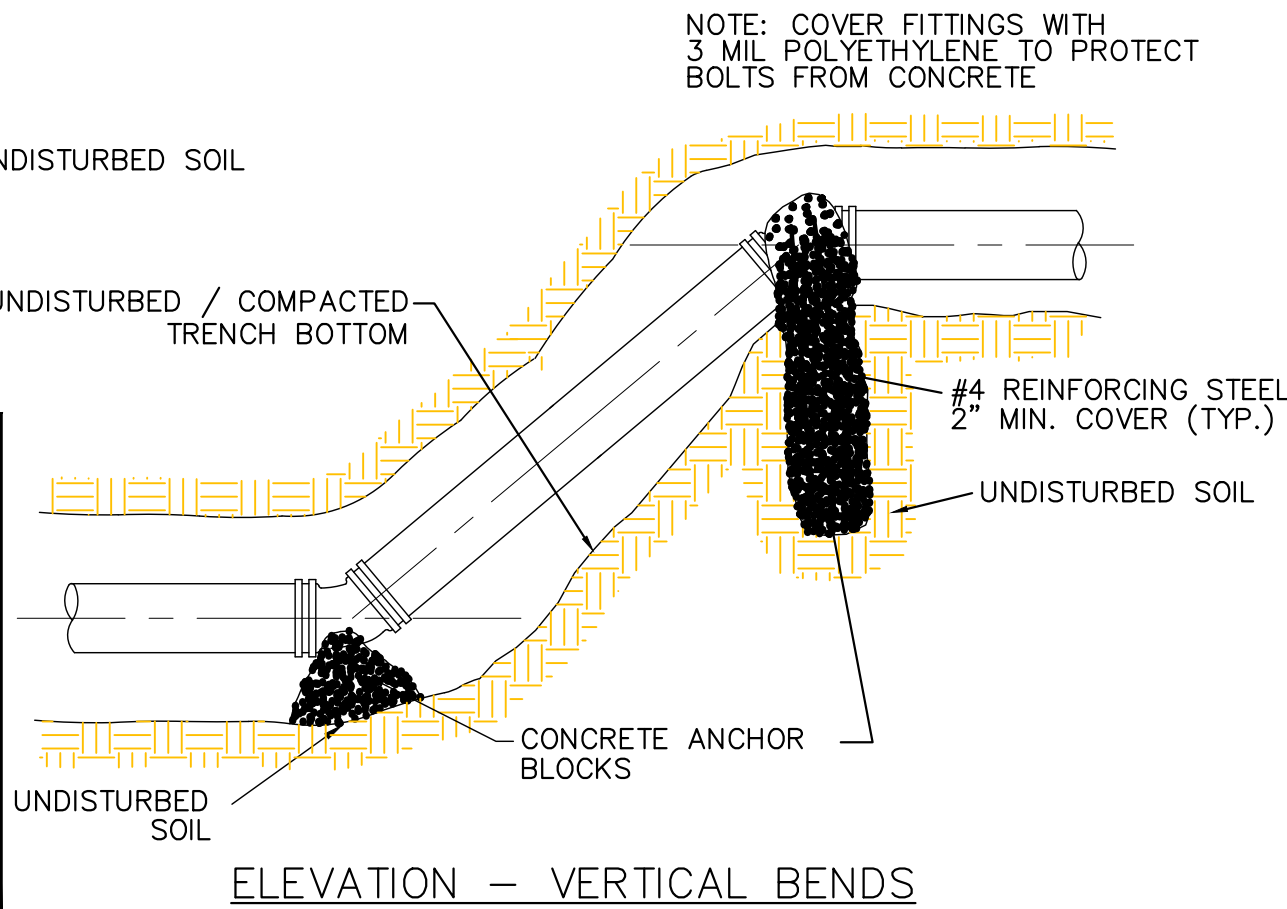
PLAN TEE

NOTE: COVER MECHANICAL JOINTS WITH 3 MIL POLYETHYLENE TO PROTECT BOLTS FROM CONCRETE THRUST BLOCK



PLAN PLUG END OF LINE

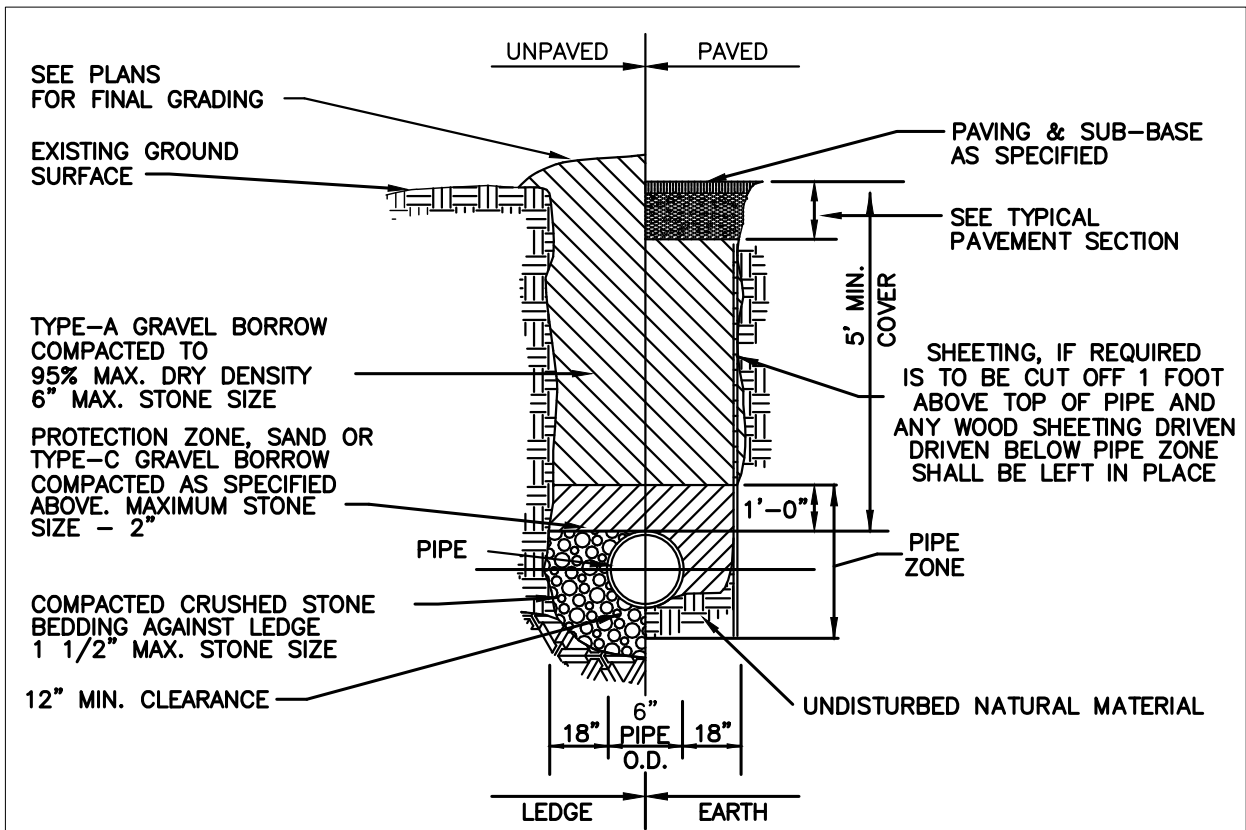
THRUST BLOCK REQUIREMENTS	
FITTING	MIN BEARING AREA (SF)
8"X 1/8 BEND	12
12"X 8" TEE	12
10"X 8" TEE	10
8"X 8" TEE	9
8"X 6" TEE	5
8" CAP / PLUG	12
12"X 8" REDUCER	8
10"X 8" REDUCER	6
8" X 6" REDUCER	4
8" 22 1/2" & 45° BENDS	8
ALL TEES AND VALVES	10
HYDRANTS	9



ELEVATION - VERTICAL BENDS

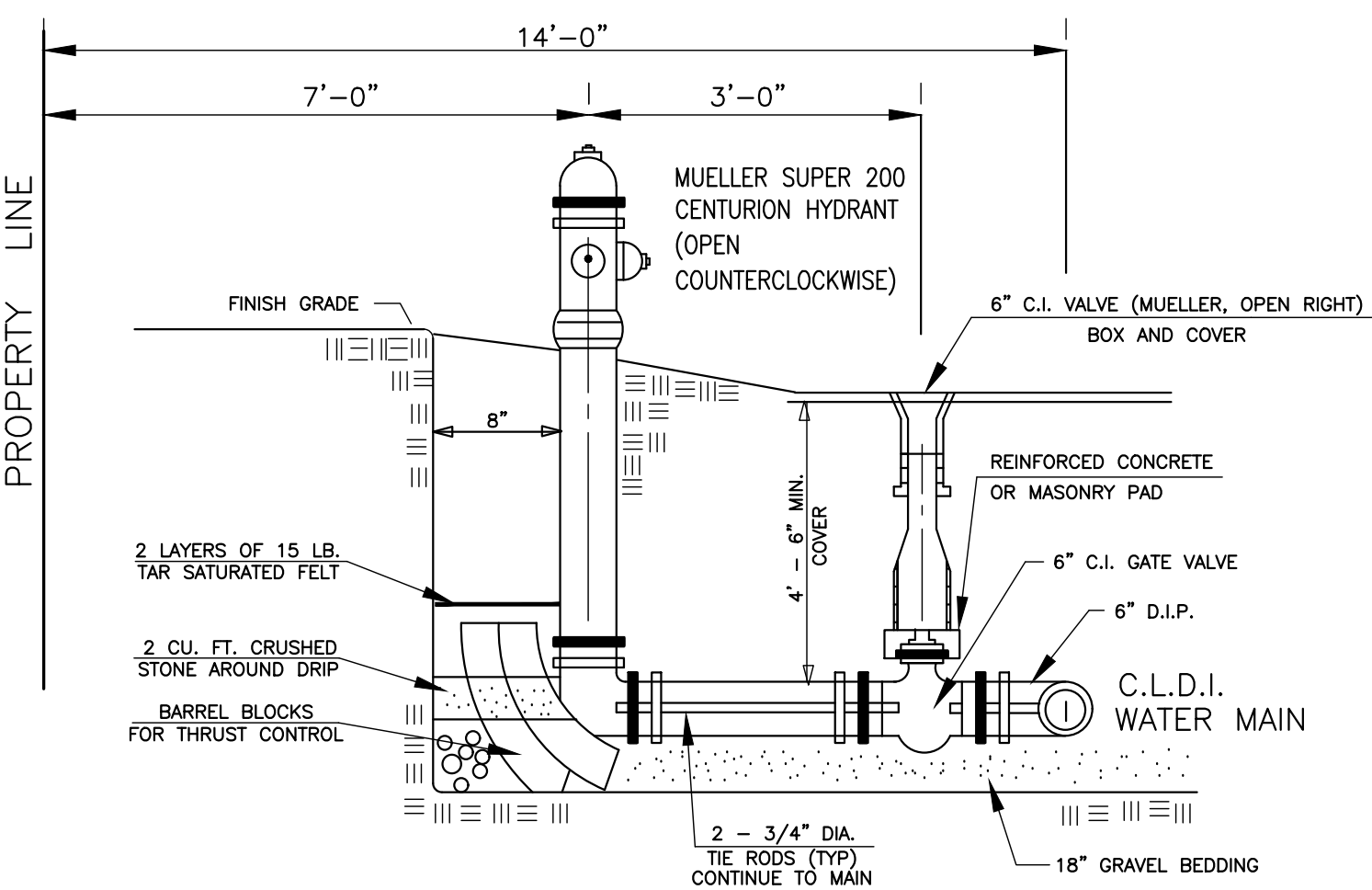
ANCHORAGE DETAILS

NOT TO SCALE



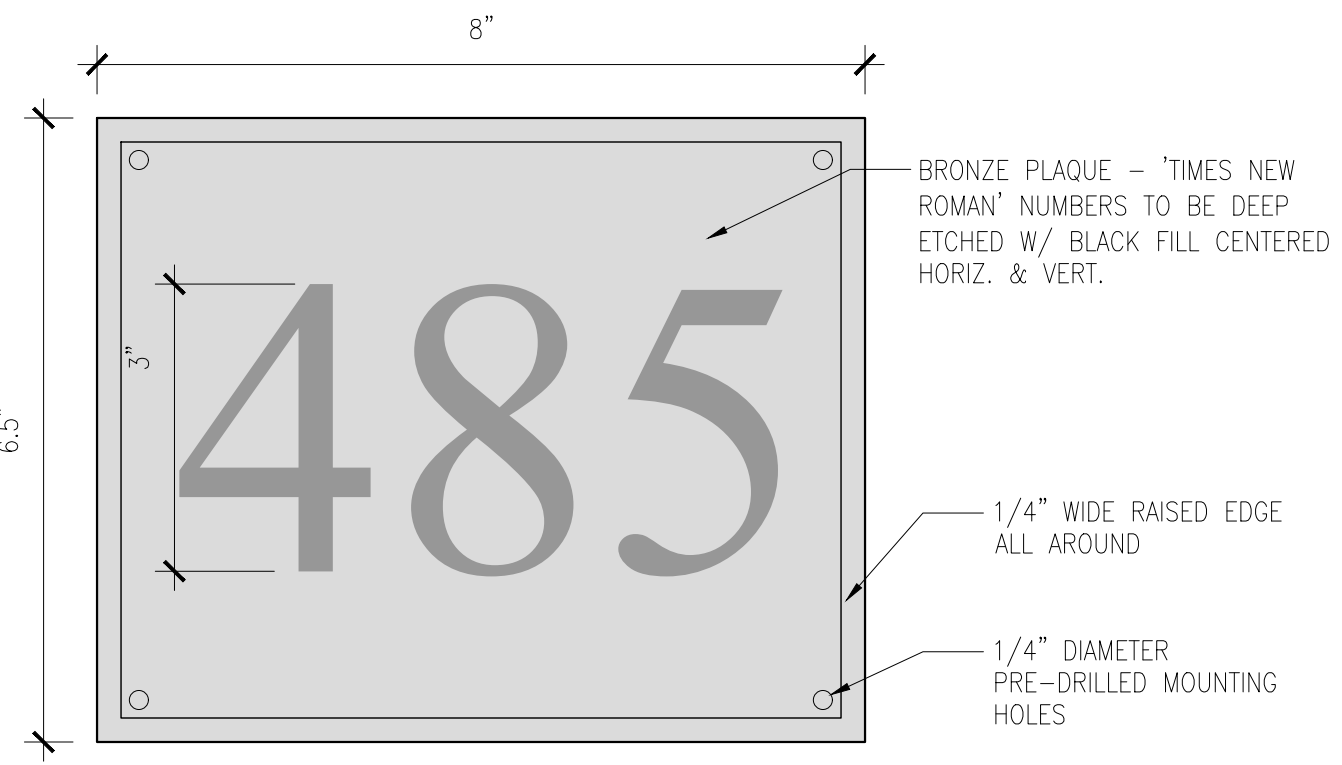
TYPICAL WATER TRENCH DETAIL
NOT TO SCALE

1. GRAVEL BORROW SHALL CONFORM TO MASS HIGHWAY SPECIFICATION M1.03.0
2. CRUSHED STONE BEDDING SHALL CONFORM TO MASS HIGHWAY SPECIFICATION M2.01.1



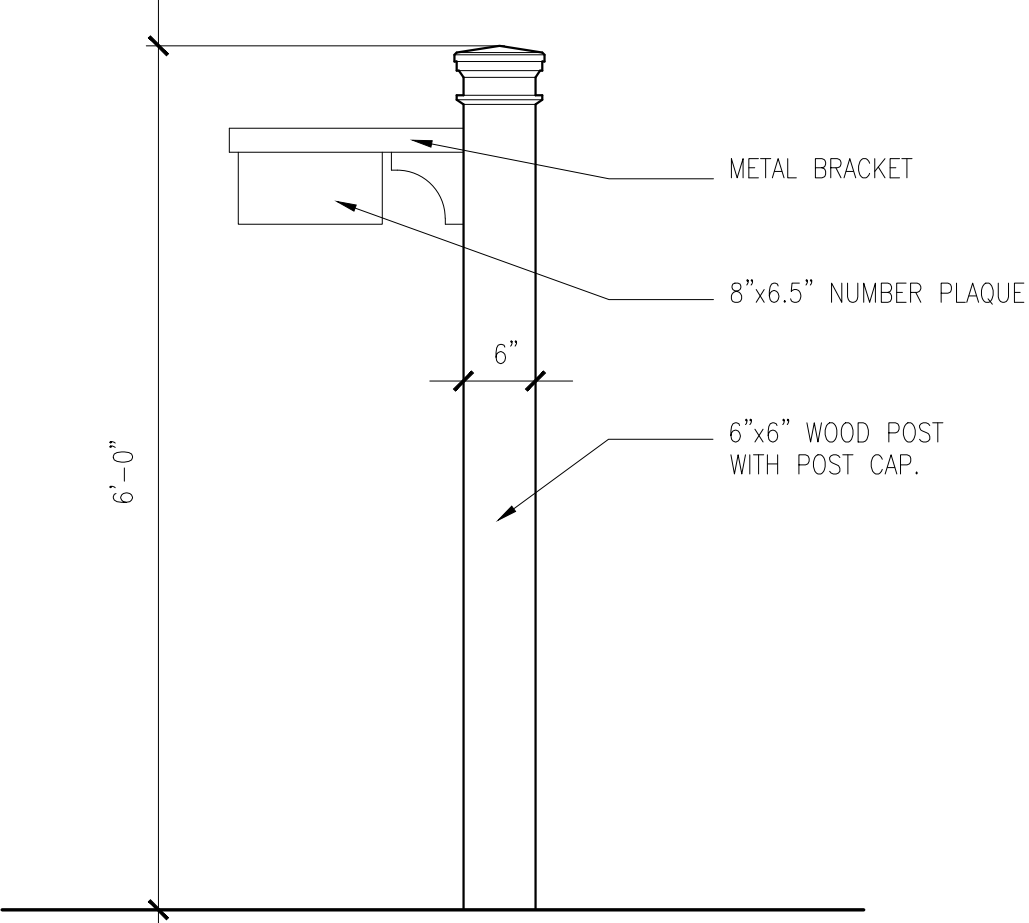
HYDRANT DETAIL

(NOT TO SCALE)



NUMBER PLATE / PLAQUE DETAIL (DRIVEWAY POST AND HOUSE)

N.T.S.

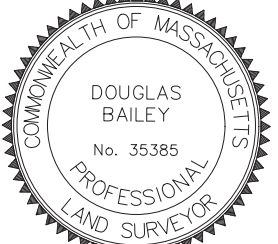


DRIVEWAY POST

N.T.S.

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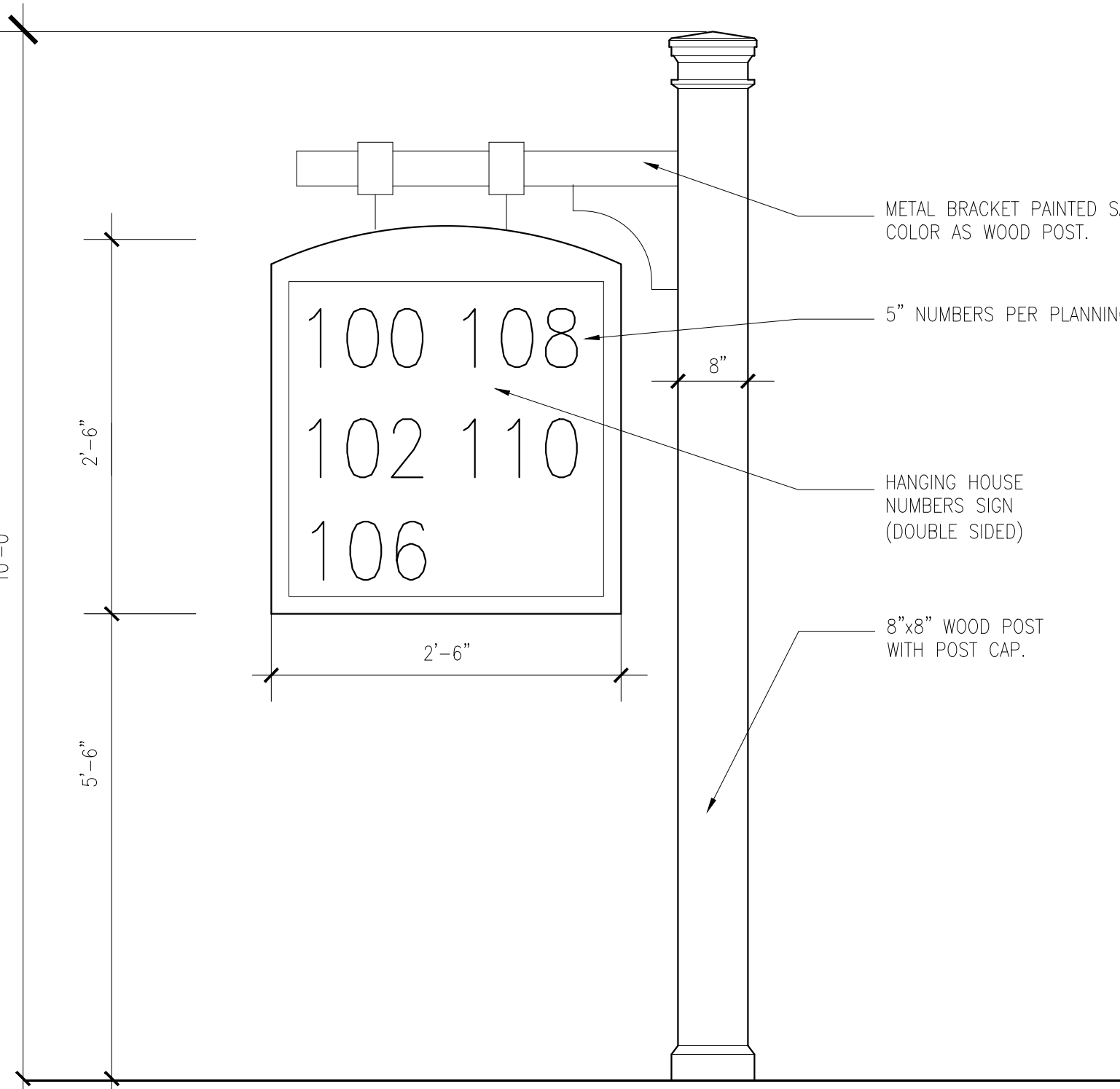
DOUGLAS BAILEY, P.L.S.



DATE

Douglas Bailey

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HANGING DIRECTORY SIGN

N.T.S.



SPECIAL PERMIT PLAN
RESIDENTIAL COMPOUND
DEVELOPMENT SUBDIVISION
0 & 483 COUNTRY WAY
SCITUATE, MASSACHUSETTS

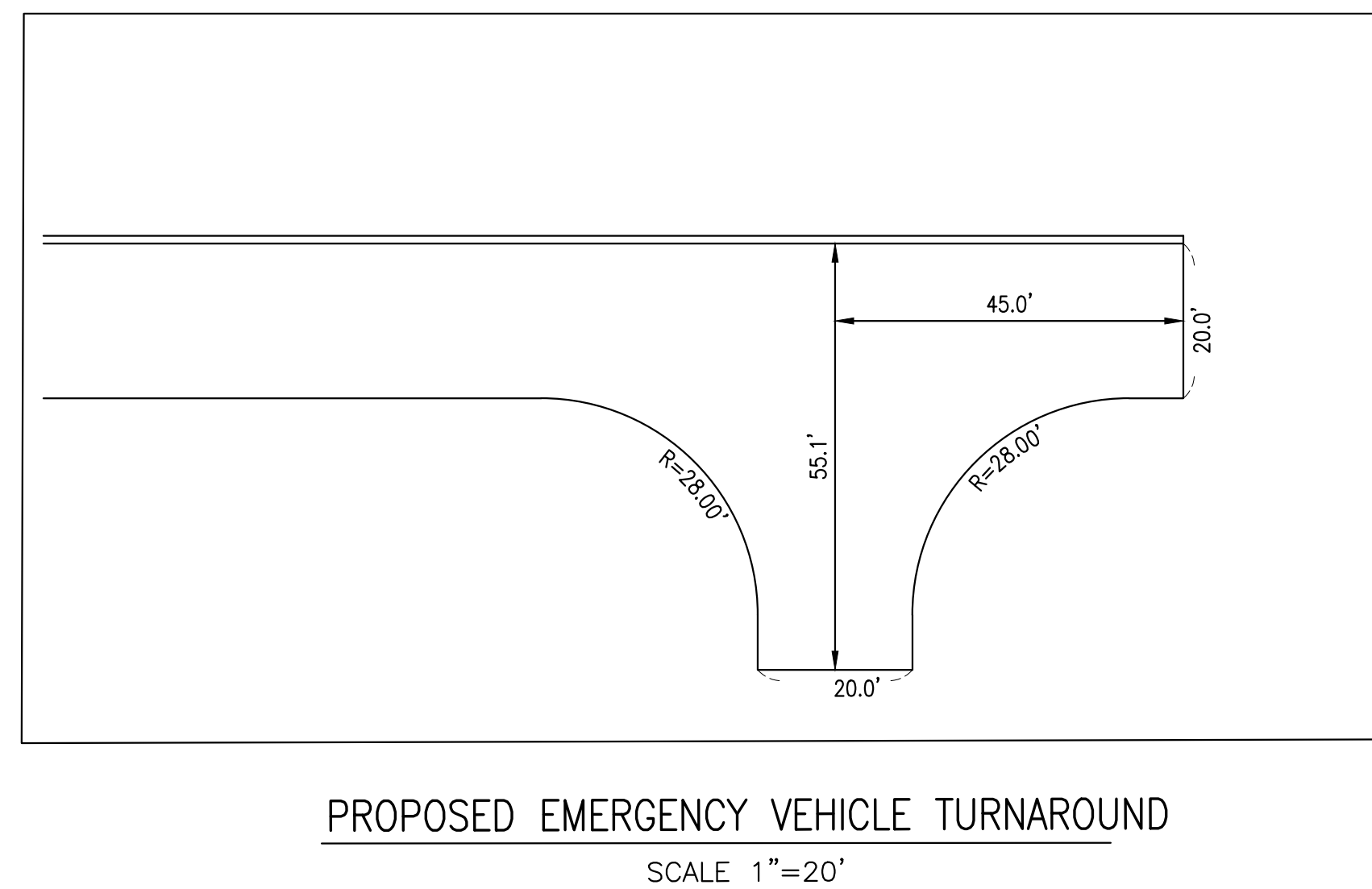
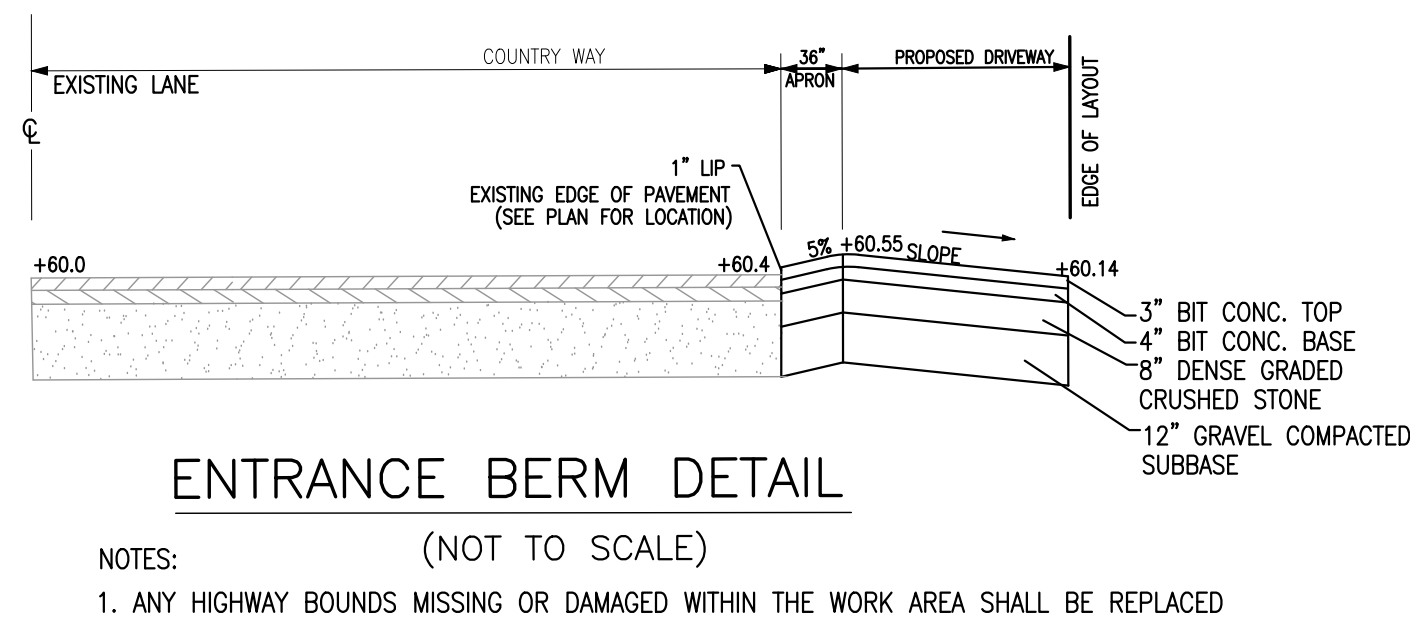
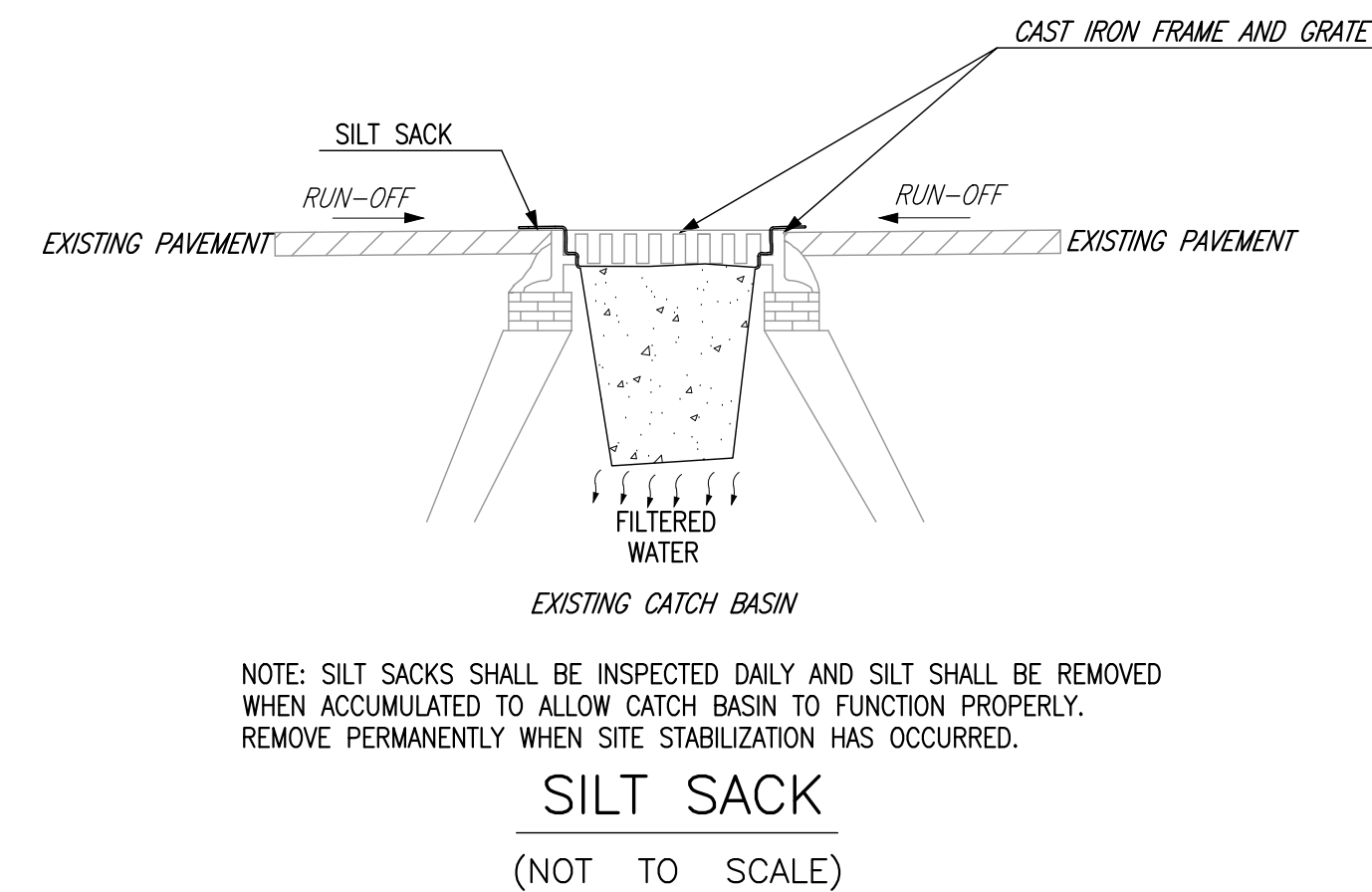
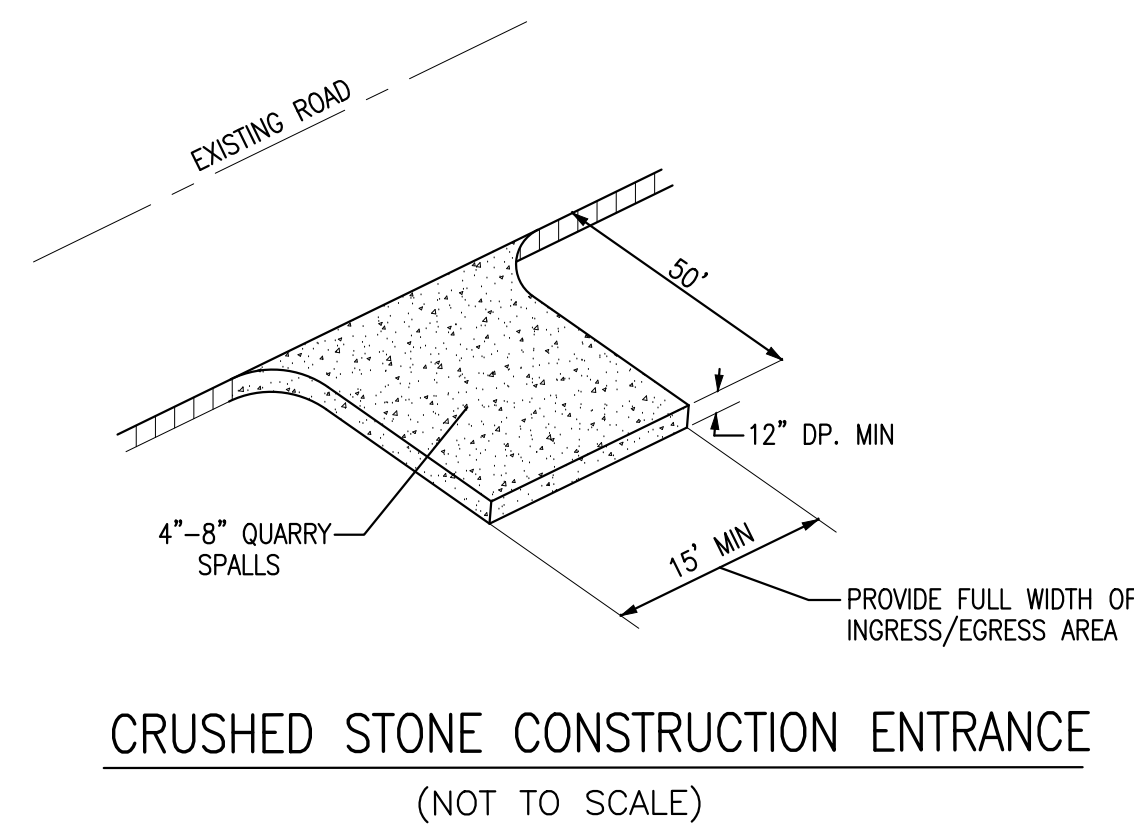
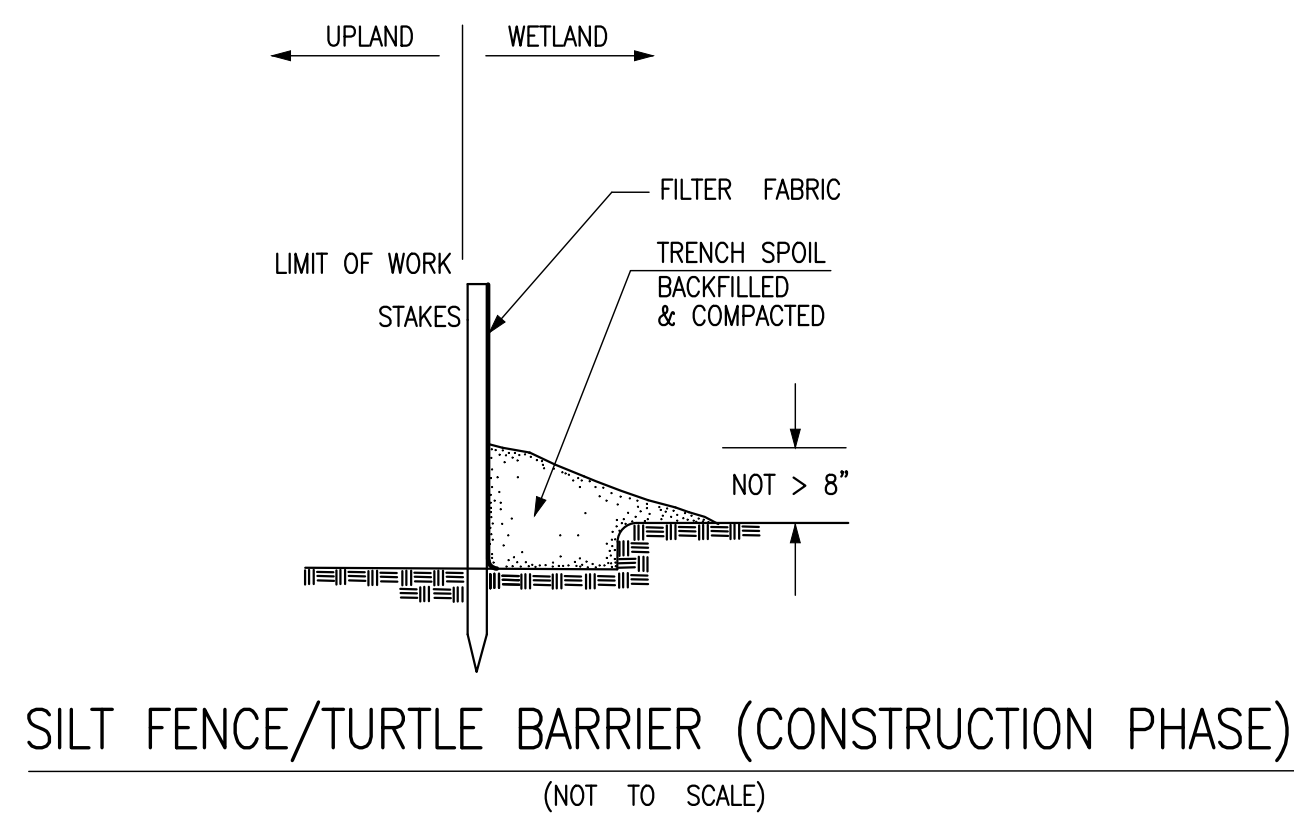
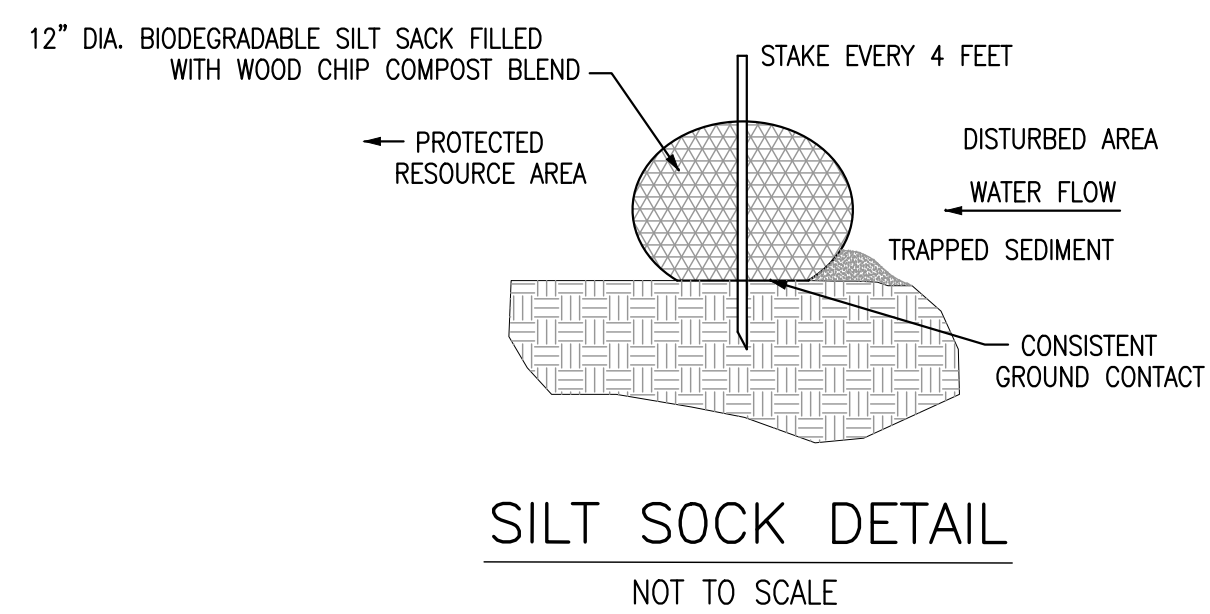
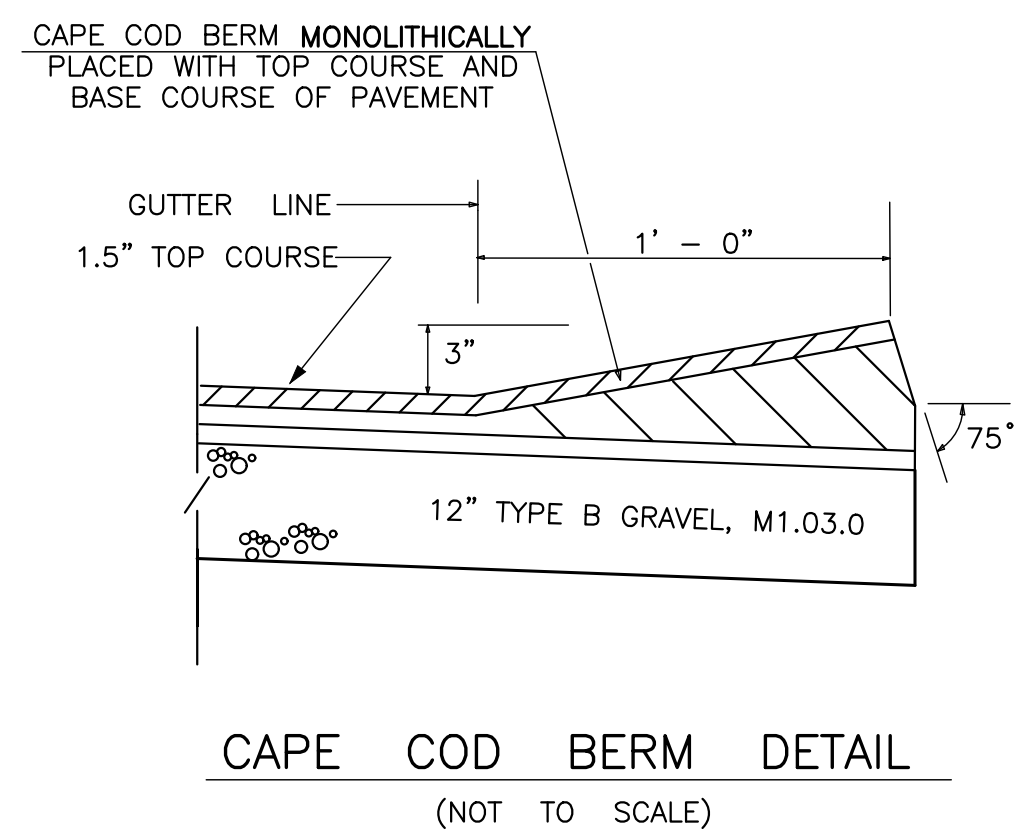
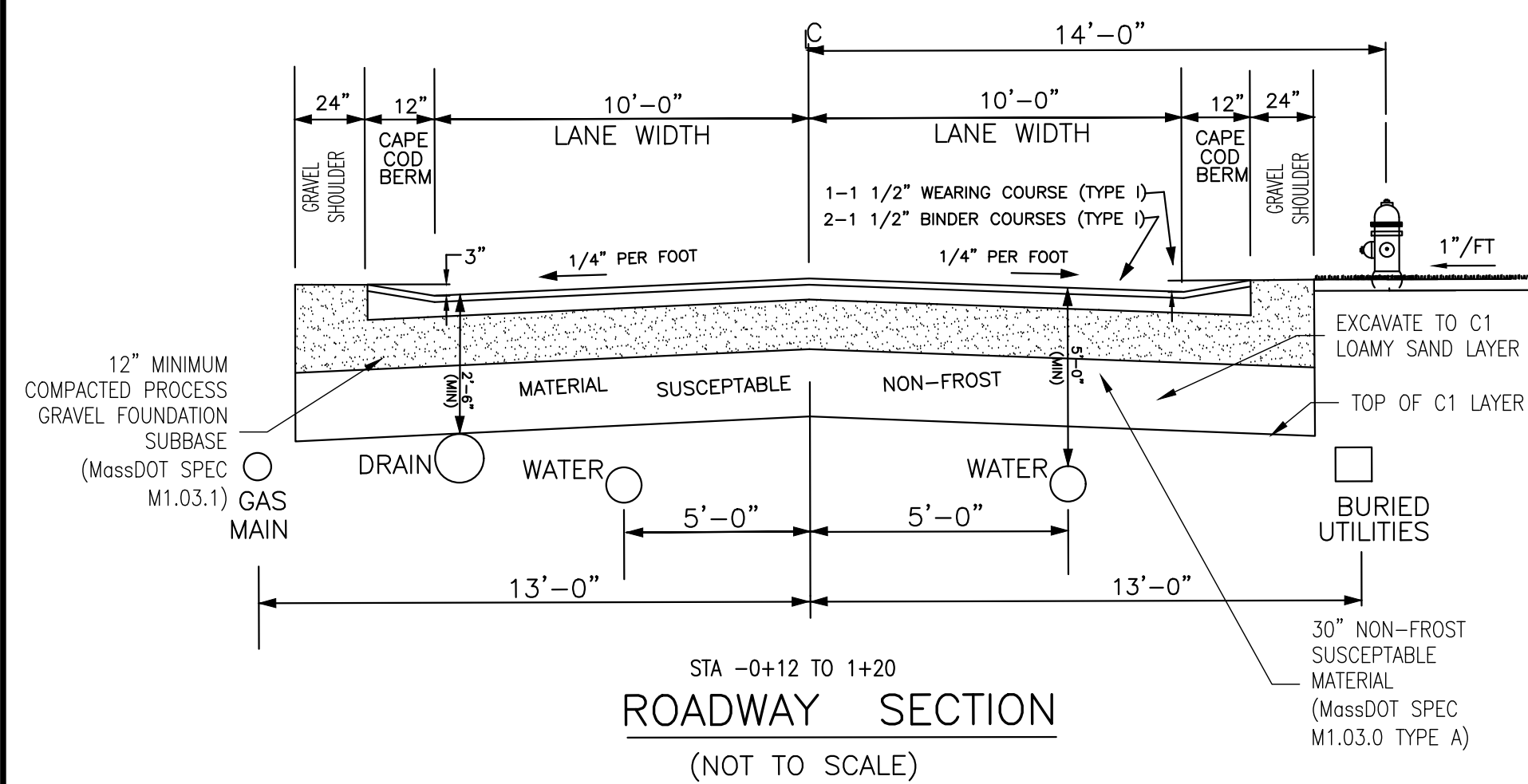
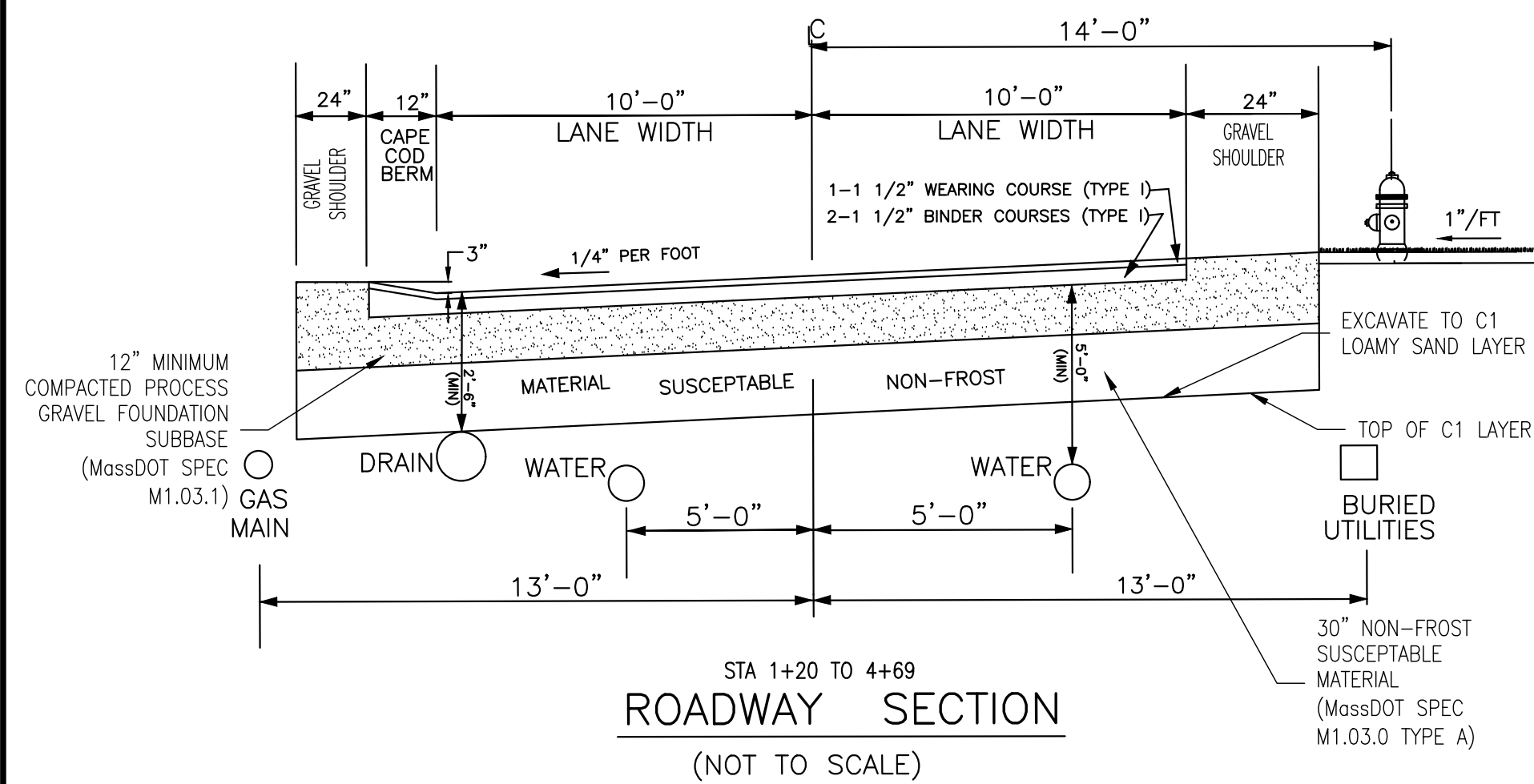
PREPARED FOR:
BRADFORD A. MERRITT
493 COUNTRY WAY
SCITUATE, MA 02066

MAY 28, 2019
SCALE: AS NOTED
JOB No. 18-312



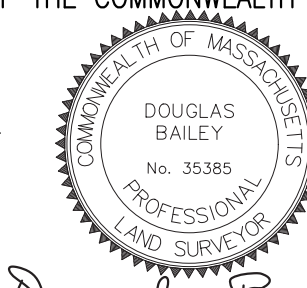
Grady Consulting, L.L.C.
Civil Engineers, Land Surveyors &
Landscape Architects
71 Evergreen Street, Suite 1, Kingston, MA 02364
Phone (781) 585-2300 Fax (781) 585-2378

NOTE: STATION -0+12 TO STA 1+20 SHALL HAVE CAPE COD BERM ON BOTH SIDES OF THE DRIVEWAY AND SHALL BE CROWNED FROM THE CENTERLINE TO THE SHOULDERS. STA 1+20 TO STA 4+69 SHALL BE SUPERELEVATED AS SHOWN



I HEREBY CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

DOUGLAS BAILEY, P.L.S.



DATE

Douglas Bailey

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SPECIAL PERMIT PLAN

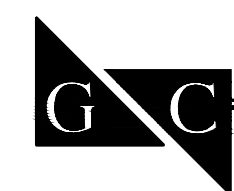
RESIDENTIAL COMPOUND DEVELOPMENT SUBDIVISION

0 & 483 COUNTRY WAY

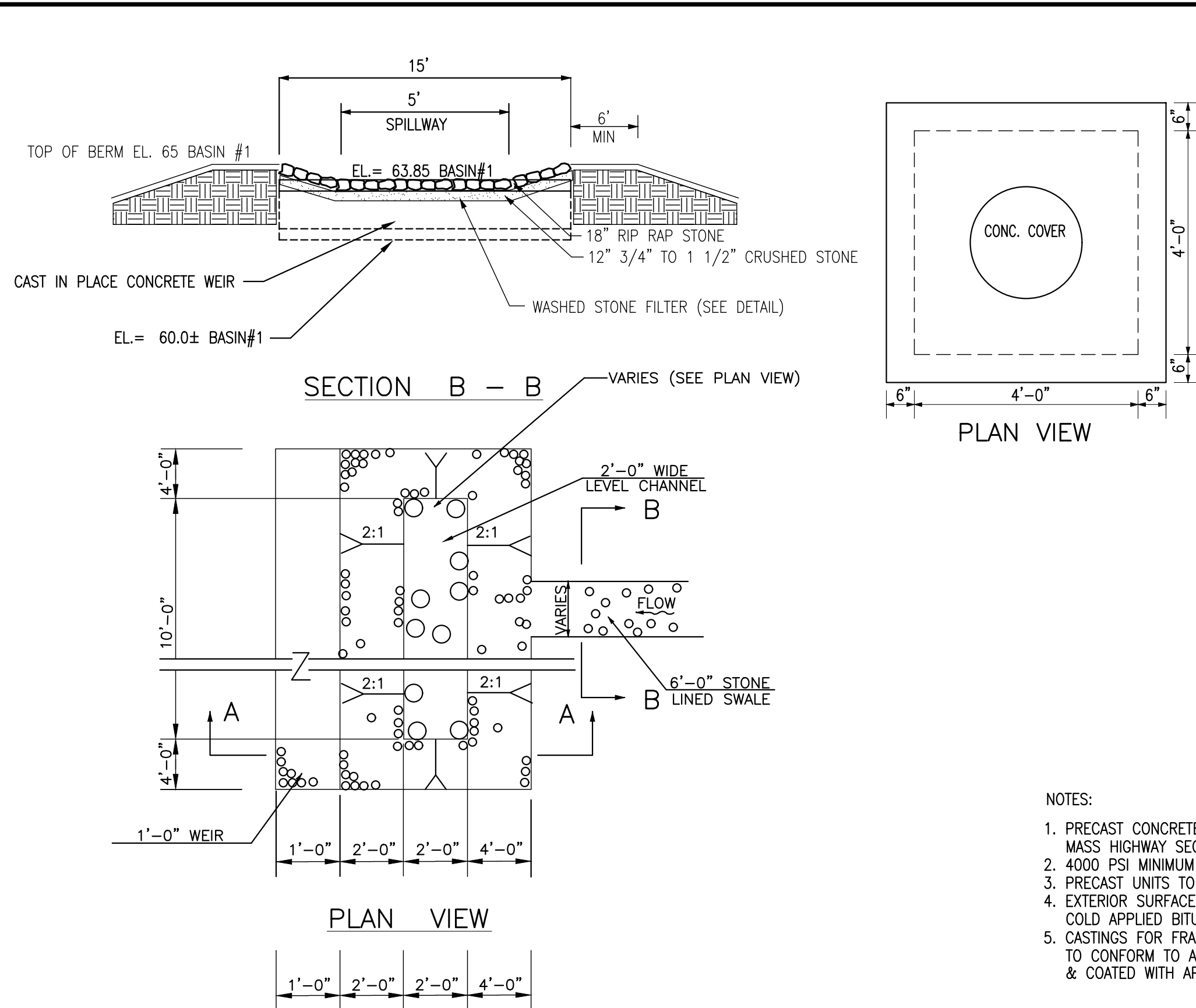
SCITUATE, MASSACHUSETTS

PREPARED FOR:
BRADFORD A. MERRITT
493 COUNTRY WAY
SCITUATE, MA 02066

MAY 28, 2019
SCAGENOTED
JOB No. 18-312

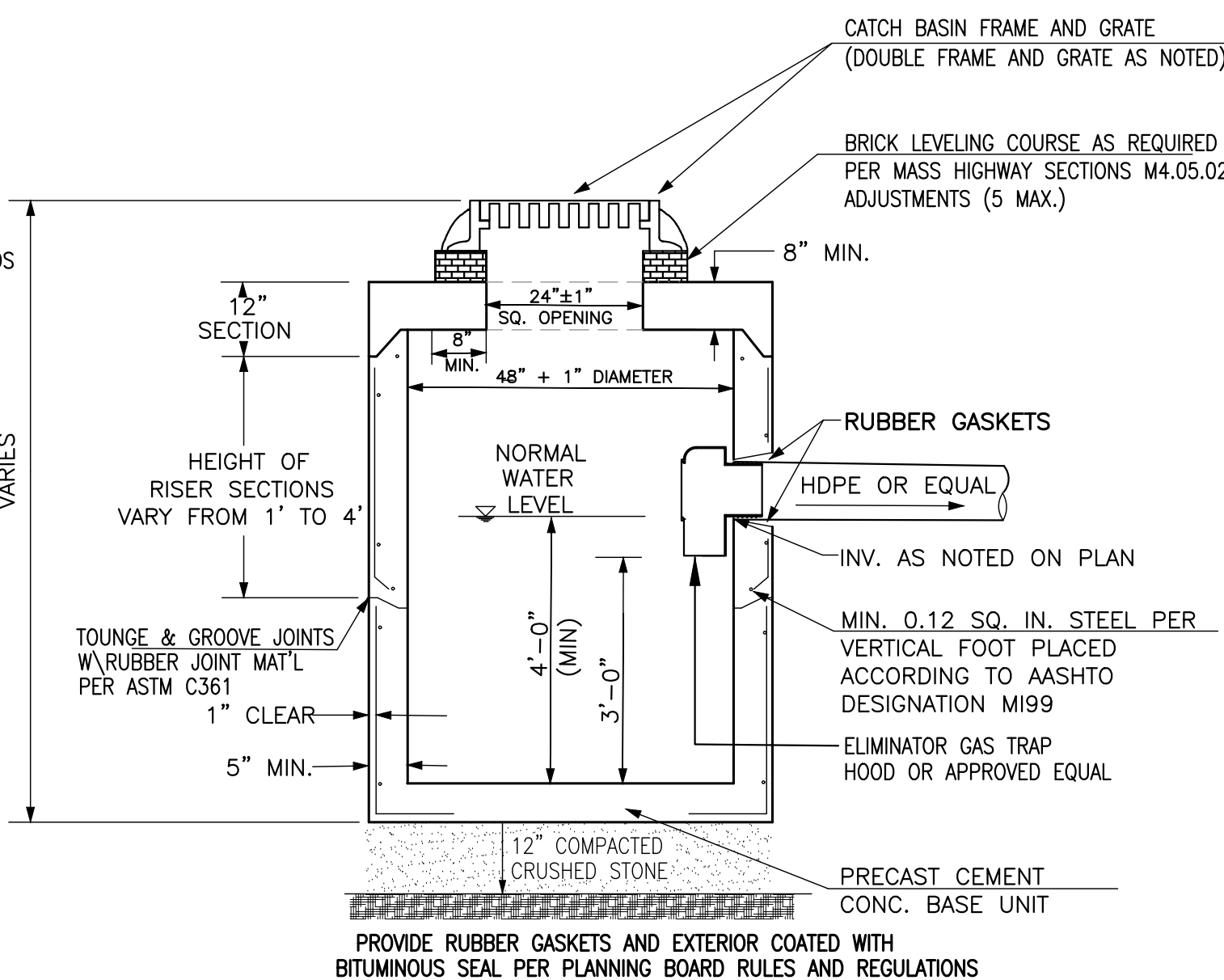


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OUTLET CONTROL STRUCTURE-BASIN #1
(NOT TO SCALE)

- NOTES:
1. PRECAST CONCRETE UNITS TO CONFORM TO THE MASS HIGHWAY SECTION M4.02.14
 2. 4000 PSI MINIMUM COMPRESSIVE STRENGTH
 3. PRECAST UNITS TO BE HS-20 LOADING
 4. EXTERIOR SURFACES TO BE SEALED W/ COLD APPLIED BITUMINOUS SEALER
 5. CASTINGS FOR FRAME, GRATES, COVERS & HOODS TO CONFORM TO ASTM A48, GRADE 30 MINIMUM & COATED WITH APPROVED BLACK ASPHALTUM.



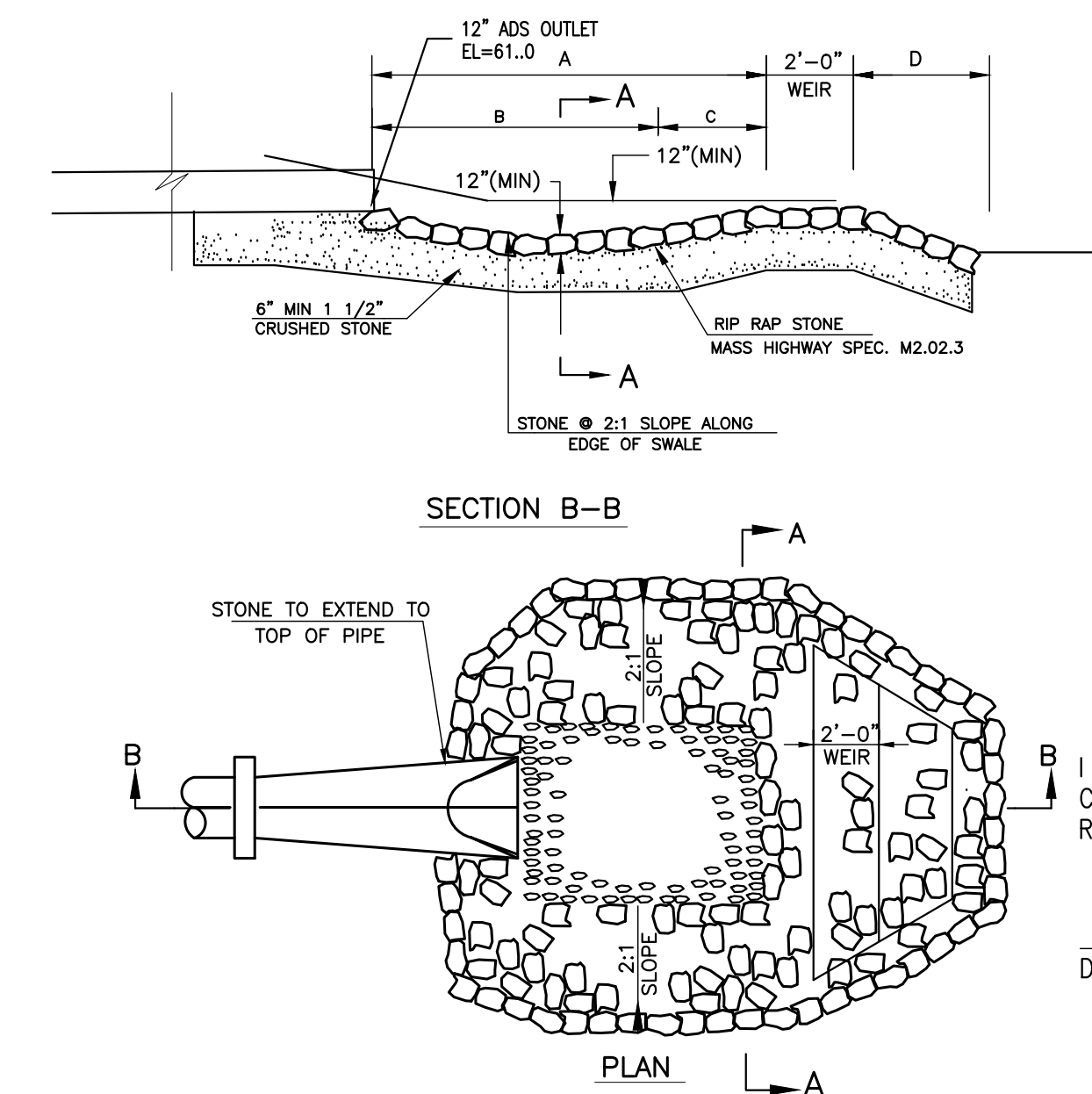
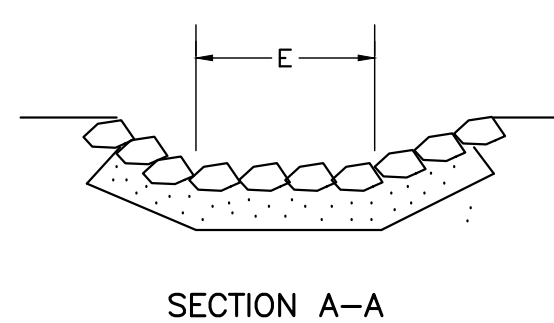
FLAT-TOP PRECAST GASOLINE TRAP CATCH BASIN
(NOT TO SCALE)

Massachusetts Municipal Drainage Frames and Grates	
	24" x 48" Grate Options
	Grate Type
	Product Number
	Standard grate
	Square hole grate
	Cascade grate (left)
	Cascade grate (right)
	ADA grate

Square Hole Grate	
4	3 flange (long flange deleted)
4	3 flange (short flange deleted)
4	4 flange
8	3 flange (long flange deleted)
8	3 flange (short flange deleted)
8	4 flange

PIPE DIA.	10"	12"	18"
A	10'-0"	10'-0"	15'-0"
B	7'-6"	7'-6"	11'-3"
C	2'-6"	2'-6"	3'-9"
D	3'-0"	3'-0"	4'-6"
E	3'-0"	4'-0"	6'-0"

- NOTES:
1. STONE FOR EROSION CONTROL PADS SHALL COMPLY WITH MDPW MATERIAL SPEC M 2.02.3
 2. STONE BERM FOR SILT TRAP SHALL BE CONSTRUCTED AROUND SIDES OF EROSION CONTROL PADS
- NOTE: DIMENSIONS DESIGNATED S.B. REFER TO SEDIMENTATION BASIN
- DIMENSIONS DESIGNATED D.B. REFER TO DETENTION BASIN



DETAIL - SILT TRAP, EROSION CONTROL PAD FROM
OUTLET CONTROL STRUCTURE BASIN #1
(NOT TO SCALE)

GENERAL NOTES:

1. PROVIDE 24" x 24" OPENING AND EAST JORDAN FRAME AND GRATE FOR SINGLE GRATE CATCH BASIN (CB) OR APPROVED EQUAL.
2. CATCH BASIN HOOD WILL NOT BE INSTALLED.
3. SET FRAME IN FULL BED OF MORTAR. BRICKS MAY BE USED FOR GRADE ADJUSTMENT.
4. MORTAR ALL JOINTS.
5. PROVIDE "V" KNOCKOUTS FOR PIPES W/ 2" CLEARANCE TO OUTSIDE OF PIPE. MORTAR ALL PIPE CONNECTIONS.
6. REINFORCED STEEL CONFORMS TO LATEST ASTM SPEC. 0.12 SQ. IN. LINEAR FT. AND 0.12 SQ. IN. (BOTH WAYS) BASE BOTTOM.
7. CONCRETE COMPRESSIVE STRENGTH-4000 PSI MIN.
8. MANHOLE DESIGN SPECS CONFORM TO LATEST ASTM C-478 SPEC. FOR "PRECAST CONCRETE MANHOLE SECTIONS"

New England Municipal and Construction Castings

Massachusetts Municipal Manhole Frames and Covers

V-1600/V-1800 FRAMES AND COVERS

V-1600-4 assembly

USE V-1800-2 OR
APPROVED EQUAL

Features

Heavy duty

Reversible frame (BF = V-1600, TF = V-1800)

Options

Solid or vented covers

Special lettered covers

Custom logo covers

Bolted assemblies

Grates (see V-3600/V-3800)

Hinged unit available in select sizes

V-1600/V-1800 Frame and Cover Options

Catalog Number	A Cover Diameter	B Cover Thickness	C Clear Opening	D Frame Opening	E Flange Diameter	F Height
V-1600-1	19 1/4	1 1/2	18 1/4	19 1/2	24	4
V-1600-2	23 1/2	1 1/2	22	23 3/4	28 1/2	4
V-1600-3	25 3/8	1 1/2	24	25 5/8	32 1/8	4
V-1600-4	31 3/4	1 3/8	30	32 1/8	38	4
V-1600-5	38	2	36	38 1/4	46	6
V-1600-6	50 1/4	2	48	50 1/2	56 1/2	6
V-1800-1	19 1/4	1 1/2	18 1/4	20 1/2	24	4
V-1800-2	23 1/2	1 1/2	22	24 3/4	28 1/2	4

SPECIAL PERMIT PLAN

RESIDENTIAL COMPOUND DEVELOPMENT SUBDIVISION

0 & 483 COUNTRY WAY SCITUATE, MASSACHUSETTS

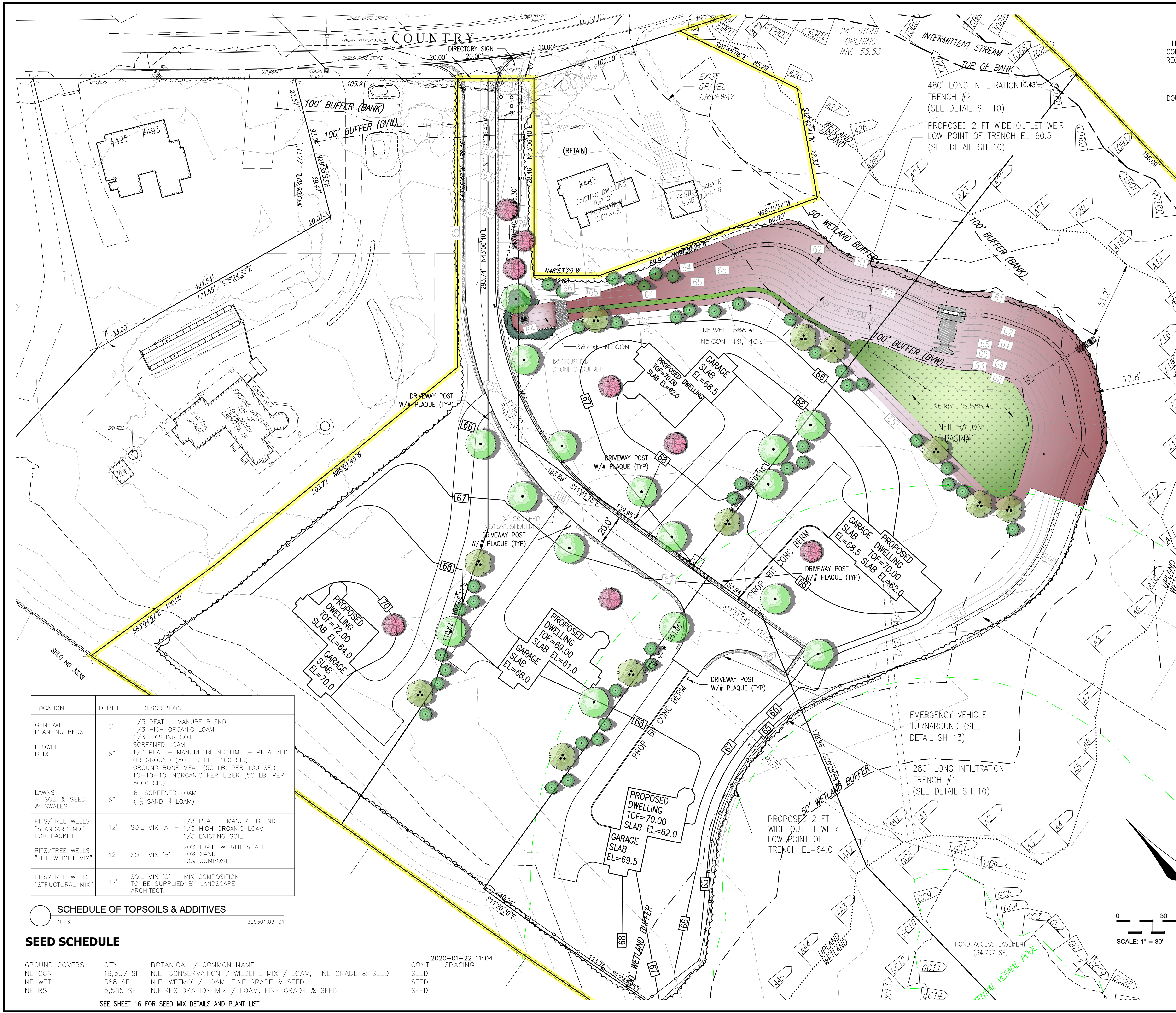
PREPARED FOR:
BRADFORD A. MERRITT
493 COUNTRY WAY
SCITUATE, MA 02066

MAY 28, 2019
SCAS NOTED
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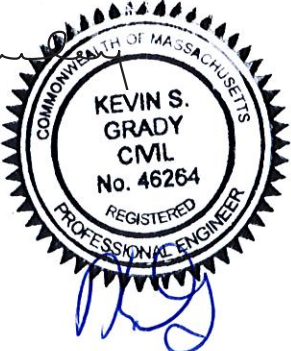
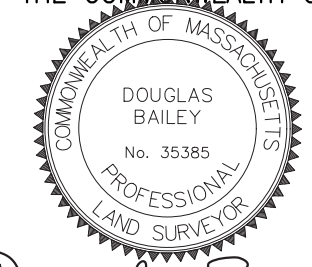
DETAILS



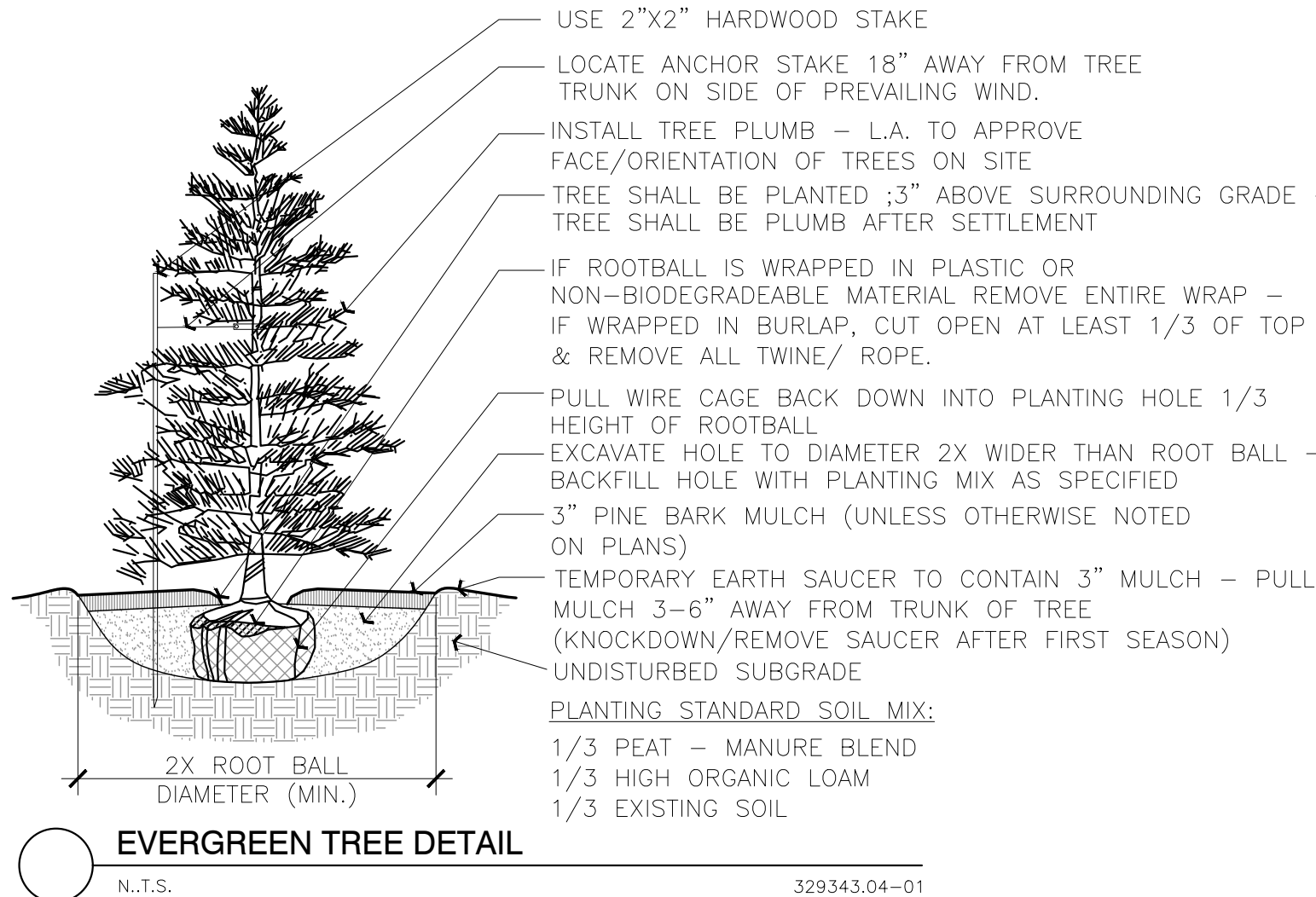
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DOUGLAS BAILEY, P.L.S.

DATE



FOR REGISTRY USE ONLY



PLANT SCHEDULE

		2020-01-22 08:48
	CLUMP TREES BETULA NIGRA / RIVER BIRCH MULTI-TRUNK	11
	EVERGREEN TREES (B&B 6-7' HGT.)	43
	PICEA ABIES / NORWAY SPRUCE	9
	PICEA GLAUCA / WHITE SPRUCE	9
	PINUS STROBUS / WHITE PINE	25
	FLOWERING TREES (B&B 3" CAL.)	8
	CORNUS FLORIDA / EASTERN DOGWOOD	4
	PRUNUS CERASIFERA 'THUNDERCLOUD' / THUNDERCLOUD PLUM	
	PRUNUS SERRULATA 'KWANZAN' / FLOWERING CHERRY	4
	SYRINGA CALLERYANA 'CHANTICLEER' / CHANTICLEER PEAR	
	SYRINGA RETICULATA / JAPANESE TREE LILAC	
	SHADE TREES (B&B 3" CAL.)	16
	ACER RUBRUM 'RED SUNSET' / RED SUNSET MAPLE	5
	FRAXINUS PENNSYLVANICA / GREEN ASH	2
	GLEDITSIA TRIACANTHOS INERMIS / THORNTLESS COMMON HONEYLOCUST	5
	TILIA CORDATA / LITTLELEAF LINDEN	2
	ZELKOVA SERRATA 'GREEN VASE' / SAWLEAF ZELKOVA	2
	LOW EVERGREEN SHRUBS (3 GAL. 18-24" HGT.)	367 SF
	ILEX GLABRA 'SHAMROCK' / INKBERRY	12
	JUNIPERUS CHINENSIS 'SARGENTII' / SARGANT JUNIPER	12

- NOTE:
- SEE SHEET 10 FOR POST AND RAIL FENCE DETAIL
 - SEE SHEET 11 FOR SIGN INFORMATION
 - SEE SHEET 16 FOR SEED INFORMATION

SPECIAL PERMIT PLAN
RESIDENTIAL COMPOUND
DEVELOPMENT SUBDIVISION
0 & 483 COUNTRY WAY
SCITUATE, MASSACHUSETTS

PREPARED FOR:
BRADFORD A. MERRITT
493 COUNTRY WAY
SCITUATE, MA 02066

MAY 28, 2019
SCALE: 1"=30'
JOB No. 18-312

GRADY CONSULTING, L.L.C.
Civil Engineers, Land Surveyors &
Landscape Architects
71 Evergreen Street, Suite 1, Kingston, MA 02364
Phone (781) 585-2300 Fax (781) 585-2378

LOCATION	DEPTH	DESCRIPTION
GENERAL PLANTING BEDS	6"	1/3 PEAT - MANURE BLEND 1/3 HIGH ORGANIC LOAM 1/3 EXISTING SOIL
FLOWER BEDS	6"	SCREENED LOAM 1/3 PEAT - MANURE BLEND LIME - PELATIZED OR GROUND (50 LB. PER 100 SF.) GROUND BONE MEAL (50 LB. PER 100 SF.) 10-10-10 INORGANIC FERTILIZER (50 LB. PER 5000 SF.)
LAWNS - SOO & SEED & SWALES	6"	6" SCREENED LOAM ($\frac{1}{3}$ SAND, $\frac{2}{3}$ LOAM)
PITS/TREE WELLS "STANDARD MIX" FOR BACKFILL	12"	SOIL MIX 'A' - 1/3 PEAT - MANURE BLEND 1/3 HIGH ORGANIC LOAM 1/3 EXISTING SOIL
PITS/TREE WELLS "LITE WEIGHT MIX"	12"	70% LIGHT WEIGHT SHALE 20% SAND 10% COMPOST
PITS/TREE WELLS "STRUCTURAL MIX"	12"	SOIL MIX 'C' - MIX COMPOSITION TO BE SUPPLIED BY LANDSCAPE ARCHITECT.

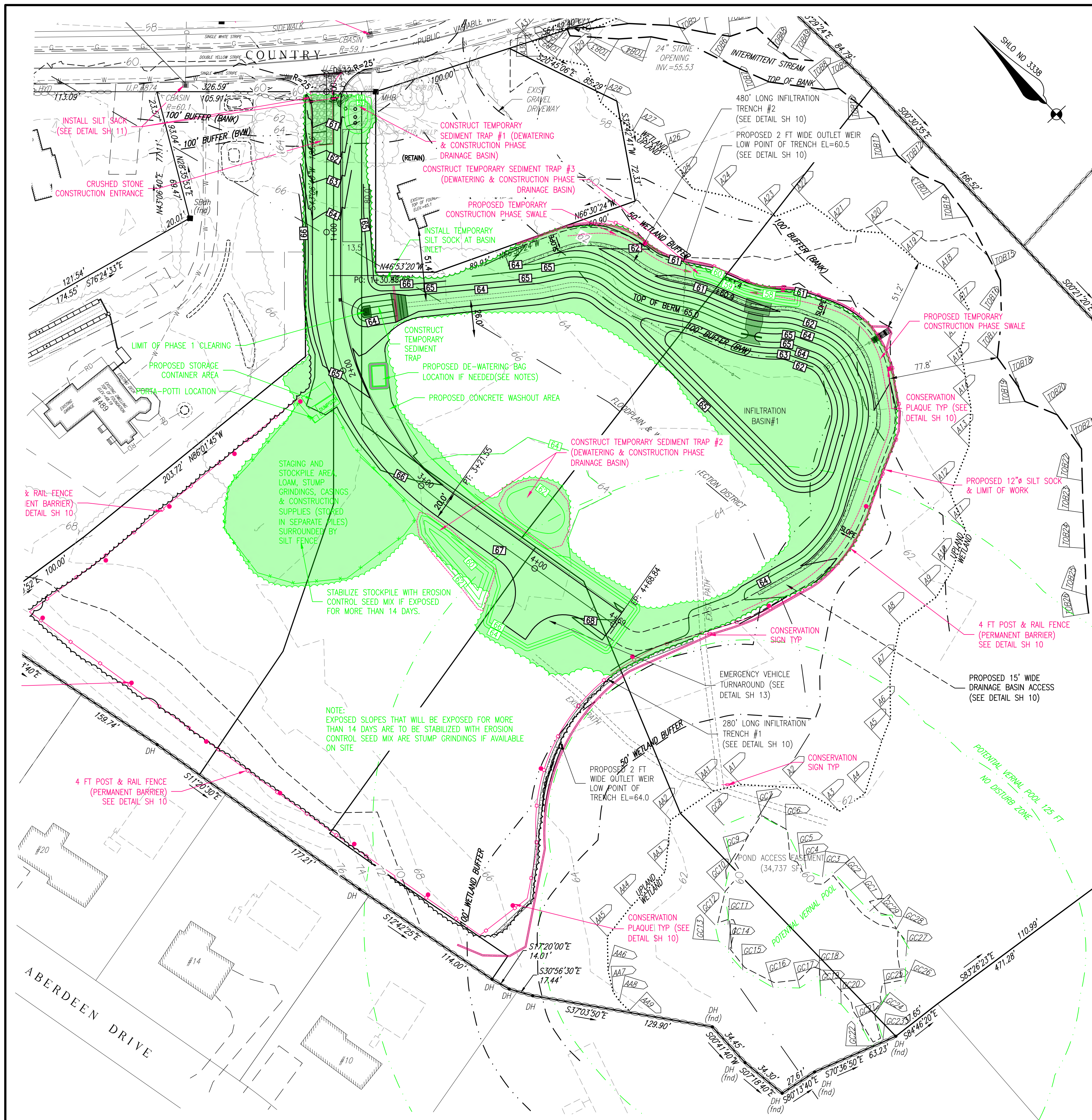
SCHEDULE OF TOPSOILS & ADDITIVES	
N.T.S.	329301.03-01

SEED SCHEDULE

GROUND COVERS	QTY	BOTANICAL / COMMON NAME	CONT. SEED
NE CON	19,537 SF	N.E. CONSERVATION / WILDLIFE MIX / LOAM, FINE GRADE & SEED	SEED
NE WET	588 SF	N.E. WETMIX / LOAM, FINE GRADE & SEED	SEED
NE RST	5,585 SF	N.E. RESTORATION MIX / LOAM, FINE GRADE & SEED	SEED

SEE SHEET 16 FOR SEED MIX DETAILS AND PLANT LIST

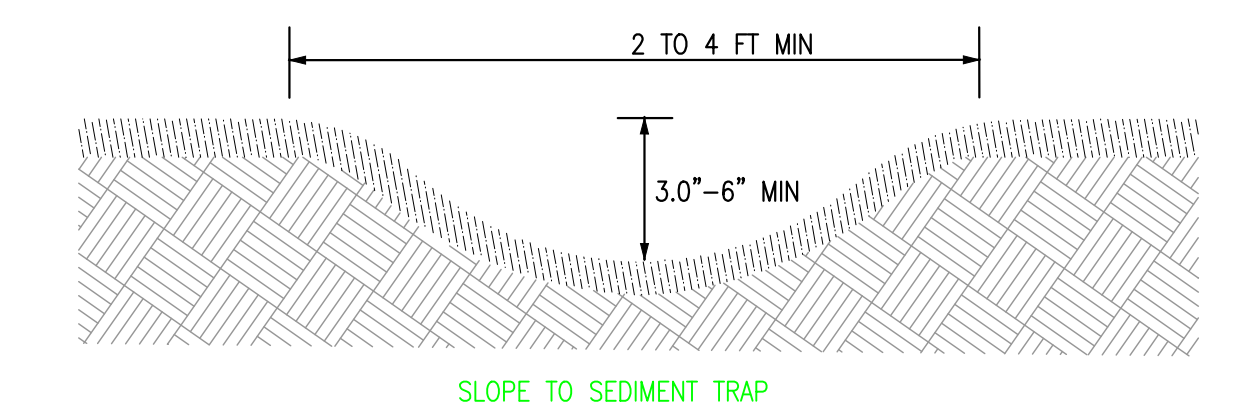
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PHASE 1 CONSTRUCTION SEQUENCE:

- PHASE 1 INCLUDES THE CONSTRUCTION OF THE ROADWAY, UTILITIES AND DRAINAGE BASINS
- STAKE LIMITS OF WORK AND TREE CLEARING
- INSTALL EROSION CONTROLS INCLUDING TEMPORARY SEDIMENT TRAPS & SWALES. TRAPS AND SWALES ARE TO BE INSPECTED FOLLOWING HEAVY RAINFALL OR SIGNIFICANT LEAF LITTER. CONTRACTOR TO KEEP SILT TRAPS AND SWALES CLEAR AT ALL TIMES
- CUT TREES, CLEAR AND GRUB ROADWAY AND DRAINAGE BASIN AREAS AS SHOWN "PHASE 1 CLEARING AREA"
- CONSTRUCT WATER QUALITY SWALE, DRAINAGE ACCESS ROAD, INFILTRATION BASIN INCLUDING LOAM AND SEED
- (LIMIT USE OF HEAVY EQUIPMENT ON BASIN BOTTOMS) THE CONTRACTOR SHALL TAKE CARE TO MINIMIZE SOIL COMPACTION IN ALL AREAS OF THE SITE WITH THE EXCEPTION OF ROADWAYS AND STRUCTURAL AMENITIES AS REQUIRED FOR STRUCTURAL STABILITY.
- BRING CUT AREAS TO SUBGRADE. INSPECT BASIN AND FOREBAY AFTER ALL STORMS AND AT LEAST MONTHLY DURING CONSTRUCTION AND REMOVE SEDIMENT
- INSTALL UTILITIES (ie, DRAIN, WATER, ELECTRIC, etc.)
- CATCH BASIN GRATES ARE TO BE SET AT BINDER GRADE
- INSTALL EROSION CONTROLS ON EXPOSED SLOPES, INSTALL SILT SACK IN CATCH BASIN, SILT SOCK AT BASIN INLET
- PLACE BASE COURSE OF PAVEMENT / LOAM AND SEED GRASS AREAS
- STABILIZATION SEED SHALL BE PLACED PRIOR TO NOVEMBER TO EACH YEAR DURING CONSTRUCTION TO ENSURE VEGETATIVE STABILIZATION.
- PAVING SHOULD ONLY BE COMPLETED WHILE PAVEMENT PLANTS ARE OPERATING. IT IS PREFERRED THAT PAVING BE COMPLETED PRIOR TO NOVEMBER.

- DEWATERING BAG NOTES:
1. ANY PUMP DISCHARGES SHALL BE DIRECTED TO THE DEWATERING BAG.
 2. 10'x15' PART #9725-SED AS MANUFACTURED BY BOOM ENVIRONMENTAL PRODUCTS, 1 COFFIN AVENUE, NEW BEDFORD, MA 02746 617-965-0007 SALES@BOOMENVIRO.COM (OR APPROVED EQUAL)
 3. MONITOR BAG AND REPLACE IF DAMAGED OR OVERLOADED WITH SEDIMENT.
 4. INSTALL BAG ON A 12" DEEP CRUSHED STONE BLANKET (14' x 19').
 5. MONITOR WATER DISCHARGE AND INSTALL ADDITIONAL EROSION CONTROL SURROUNDING BAG AS NEEDED.



SEDIMENT TRAP #1
2 YEAR RUNOFF VOLUME FROM POST #1 =248 (CU. FT) (350 cu ft PROVIDED @ EL=60)

CONTOUR ELEVATION (sq. FT)	CONTOUR AREA	DEPTH (FT)	INCREMENTAL VOLUME AVG. END (CU. FT)	CUMULATIVE VOLUME AVG. END (CU. FT)
59.000	246.73	N/A	N/A	0.00
60.000	454.17	1.000	350.45	350.45
61.000	718.29	1.000	586.23	936.68

SEDIMENT TRAP #2
2 YEAR RUNOFF VOLUME FROM POST #3 =2390 (CU. FT) (6189 cu ft PROVIDED @ EL=64)

CONTOUR ELEVATION	CONTOUR AREA (SQ. FT)	DEPTH (FT)	INCREMENTAL VOLUME AVG. END (CU. FT)	CUMULATIVE VOLUME AVG. END (CU. FT)
62.000	956.20	N/A	N/A	0.00
64.000	5,233.27	2.000	6189.46	6189.46

SEDIMENT TRAP #3
2 YEAR RUNOFF VOLUME FROM POST #5 =625 (CU. FT) (797 CU FT PROVIDED @ EL=60)

CONTOUR ELEVATION	CONTOUR AREA (SQ. FT)	DEPTH (FT)	INCREMENTAL VOLUME AVG. END (CU. FT)	CUMULATIVE VOLUME AVG. END (CU. FT)
58.000	83.45	N/A	N/A	0.00
59.000	393.60	1.000	238.53	238.53
60.000	724.44	1.000	559.02	797.55

NOTE:
CONSTRUCTION OF THE COMMON DRIVEWAY SHALL BE SUPERVISED BY A REGISTERED PROFESSIONAL ENGINEER WHO SHALL CERTIFY IN WRITING TO THE BUILDING COMMISSIONER AT COMPLETION THAT THE DRIVEWAY AND DRAINAGE STRUCTURES WERE CONSTRUCTED IN ACCORDANCE WITH THE APPROVED THIS CERTIFICATION SHALL BE ACCOMPANIED BY AS-BUILT PLANS, SIGNED AND STAMPED BY A REGISTERED PROFESSIONAL LAND SURVEYOR AND THE SUPERVISING ENGINEER. AS-BUILT PLANS SHALL INCLUDE THE LOCATIONS OF EASEMENTS FOR ALL DRAINAGE STRUCTURES INCLUDING SWALES AND MUST BE PROVIDED TO THE DEPARTMENT OF PUBLIC WORKS, WITH A COPY TO THE PLANNING BOARD, WITHIN THREE MONTHS OF THE COMPLETION OF CONSTRUCTION OF A COMMON DRIVEWAY. THE BUILDING COMMISSIONER SHALL NOT ISSUE A FINAL CERTIFICATE OF OCCUPANCY FOR A DWELLING SERVED BY A COMMON DRIVEWAY UNLESS THE BUILDING COMMISSIONER IS SATISFIED THAT ACCESS, CONSTRUCTION OF THE COMMON DRIVEWAY, INSTALLATION OF NECESSARY UTILITIES AND SITE RESTORATION ARE IN FULL COMPLIANCE WITH THE APPROVED PLANS AND THE SPECIAL PERMIT.



SPECIAL PERMIT PLAN

RESIDENTIAL COMPOUND DEVELOPMENT SUBDIVISION

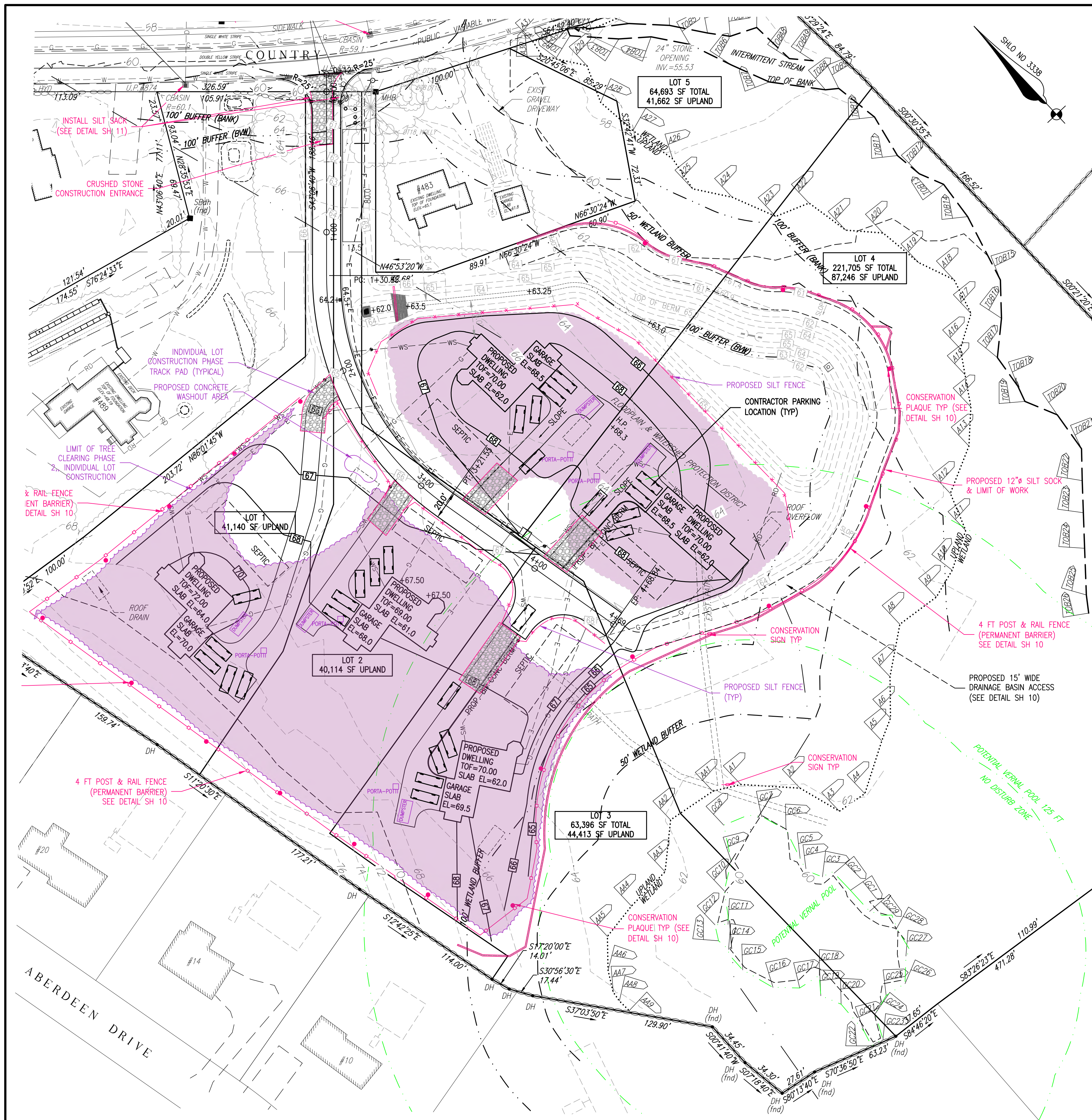
0 & 483 COUNTRY WAY
SCITUATE, MASSACHUSETTS

PREPARED FOR:
BRADFORD A. MERRITT
493 COUNTRY WAY
SCITUATE, MA 02066

MAY 28, 2019
SCALE: 1"=40'
JOB No. 18-312

GRADY CONSULTING, L.L.C.
Civil Engineers, Land Surveyors & Landscape Architects
71 Evergreen Street, Suite 1, Kingston, MA 02364
Phone (781) 585-2300 Fax (781) 585-2378

CONSTRUCTION PERIOD PHASE 1



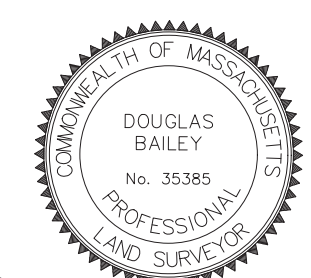
- DEWATERING BAG NOTES:
1. ANY PUMP DISCHARGES SHALL BE DIRECTED TO THE DEWATERING BAG.
 2. 10'x15' PART #9725-SED AS MANUFACTURED BY BOOM ENVIRONMENTAL PRODUCTS, 1 COFFIN AVENUE, NEW BEDFORD, MA 02746 617-965-0007 SALES@BOOMENVIRO.COM (OR APPROVED EQUAL)
 3. MONITOR BAG AND REPLACE IF DAMAGED OR OVERLOADED WITH SEDIMENT.
 4. INSTALL BAG ON A 12" DEEP CRUSHED STONE BLANKET (14' x 19').
 5. MONITOR WATER DISCHARGE AND INSTALL ADDITIONAL EROSION CONTROL SURROUNDING BAG AS NEEDED.
 6. INDIVIDUAL FOUNDATION DE-WATERING BAG PLACEMENT SHALL BE ON THE INDIVIDUAL LOTS AND LOCATED OUTSIDE OF THE 100 FT BUFFER ZONE.

WINTER SITE STABILIZATION NOTES:
CONTRACTOR SHALL LIMIT EXCAVATION OF SOILS DURING NON-GROWING SEASON FROM NOVEMBER 1ST TO APRIL 1ST. SHOULD IT BE NECESSARY TO EXPOSE SOILS DURING NON-GROWING SEASON THE CONTRACTOR SHALL USE ALTERNATIVE MEANS OF SOILS STABILIZATION SUCH AS JUTE MESH, STUMP GRINDINGS OR OTHER APPROVED METHODS.



PHASE 2 CONSTRUCTION SEQUENCE:

- PHASE 2 INCLUDES THE CONSTRUCTION OF THE INDIVIDUAL HOUSE LOTS, SUBDIVISION LANDSCAPE AND FINISH PAVEMENT
- STAKE LIMITS OF WORK AND TREE CLEARING
- INSTALL EROSION CONTROLS, INSTALL EROSION CONTROLS ON EXPOSED SLOPES, INSTALL SILT SACK IN CATCH BASIN, MAINTAIN SILT SOCK AT BASIN INLET
- CUT TREES, CLEAR AND GRUB YARD AREAS AS SHOWN "PHASE 2 AREA" (SELECT & RETAIN TREES)
- BRING CUT AREAS TO SUBGRADE INSPECT BASIN AND FOREBAY AFTER ALL STORMS AND AT LEAST MONTHLY DURING CONSTRUCTION AND REMOVE SEDIMENT
- INSTALL AND BACKFILL FOUNDATION
- CONSTRUCT DWELLINGS
- INSTALL UTILITIES (IE, DRAIN, WATER, ELECTRIC, SEPTIC ETC.)
- (LIMIT USE OF HEAVY EQUIPMENT ON BASIN BOTTOMS)
- BRING YARDS TO SUBGRADE
- INSTALL DOWNSPOUTS/ROOF DRAIN CONNECTIONS
- PLACE DRIVEWAY BASE COURSE OF PAVEMENT / LOAM AND SEED GRASS AREAS
- CONTRACTOR SHALL REMOVE AND REPLACE ANY COMPACTED SOILS THROUGHOUT THE PROPERTY PRIOR TO PLACING LANDSCAPE TO ALLOW FOR PROPER DRAINAGE AND INFILTRATIVE CAPACITY OF THE UNDERLYING SOILS.
- COMPLETE SUBDIVISION LANDSCAPING
- STABILIZATION SEED SHALL BE PLACED PRIOR TO NOVEMBER TO EACH YEAR DURING CONSTRUCTION TO ENSURE VEGETATIVE STABILIZATION.
- PAVING SHOULD ONLY BE COMPLETED WHILE PAVEMENT PLANTS ARE OPERATING. IT IS PREFERRED THAT PAVING BE COMPLETED PRIOR TO NOVEMBER.
- UNCOVER TEMPORARY DRAINAGE SEALS / FINISH PAVING ON ROADWAY AND DRIVEWAYS
- CLEAN DRAINAGE SYSTEM (STRUCTURES AND ANY SEDIMENT IN BASINS)
- REQUEST CERTIFICATE OF COMPLIANCE FROM CONSERVATION AND PLANNING BOARD



Douglas Bailey



Kevin S. Grady

SPECIAL PERMIT PLAN
RESIDENTIAL COMPOUND
DEVELOPMENT SUBDIVISION
0 & 483 COUNTRY WAY
SCITUATE, MASSACHUSETTS

PREPARED FOR:
BRADFORD A. MERRITT
493 COUNTRY WAY
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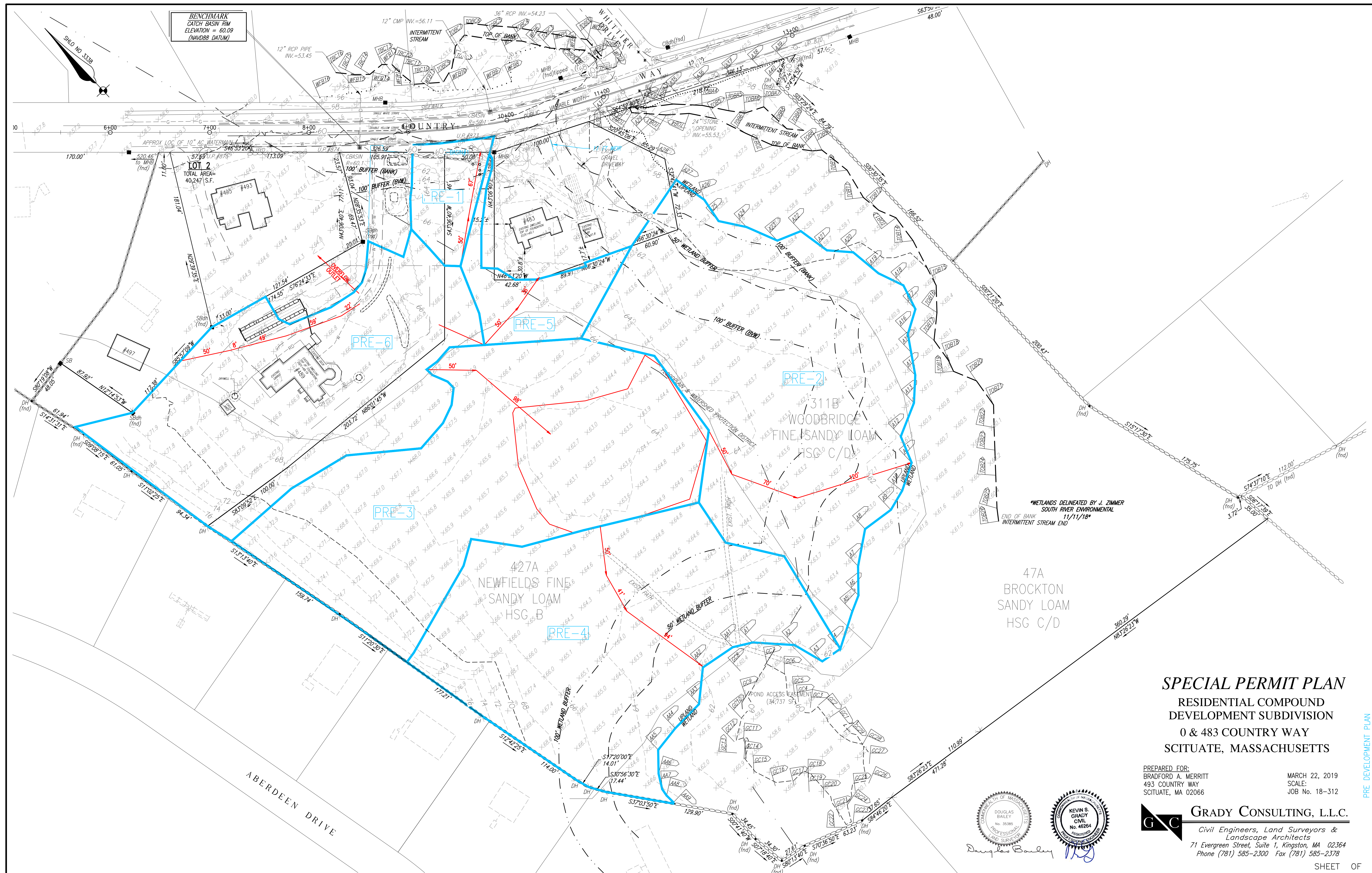
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Phone (781) 585-2300 Fax (781) 585-2378

NOTE:
CONSTRUCTION OF THE COMMON DRIVEWAY SHALL BE SUPERVISED BY A REGISTERED PROFESSIONAL ENGINEER WHO SHALL CERTIFY IN WRITING TO THE BUILDING COMMISSIONER AT COMPLETION THAT THE DRIVEWAY AND DRAINAGE STRUCTURES WERE CONSTRUCTED IN ACCORDANCE WITH THE APPROVED THIS CERTIFICATION SHALL BE ACCOMPANIED BY AS-BUILT PLANS, SIGNED AND STAMPED BY A REGISTERED PROFESSIONAL LAND SURVEYOR AND THE SUPERVISING ENGINEER. AS-BUILT PLANS SHALL INCLUDE THE LOCATIONS OF EASEMENTS FOR ALL DRAINAGE STRUCTURES INCLUDING SWALES AND MUST BE PROVIDED TO THE DEPARTMENT OF PUBLIC WORKS, WITH A COPY TO THE PLANNING BOARD, WITHIN THREE MONTHS OF THE COMPLETION OF CONSTRUCTION OF A COMMON DRIVEWAY. THE BUILDING COMMISSIONER SHALL NOT ISSUE A FINAL CERTIFICATE OF OCCUPANCY FOR A DWELLING SERVED BY A COMMON DRIVEWAY UNLESS THE BUILDING COMMISSIONER IS SATISFIED THAT ACCORDING, CONSTRUCTION OF THE COMMON DRIVEWAY, INSTALLATION OF NECESSARY UTILITIES AND SITE RESTORATION ARE IN FULL COMPLIANCE WITH THE APPROVED PLANS AND THE SPECIAL PERMIT.

CONSTRUCTION PERIOD PHASE II



SPECIAL PERMIT PLAN
RESIDENTIAL COMPOUND
DEVELOPMENT SUBDIVISION
0 & 483 COUNTRY WAY
SCITUATE, MASSACHUSETTS

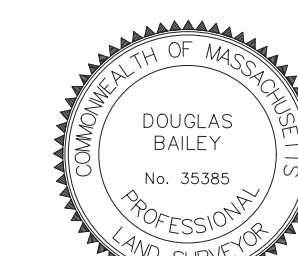
PREPARED FOR:
BRADFORD A. MERRITT
493 COUNTRY WAY
SCITUATE, MA 02066

MARCH 22, 2019
SCALE:
JOB No. 18-312



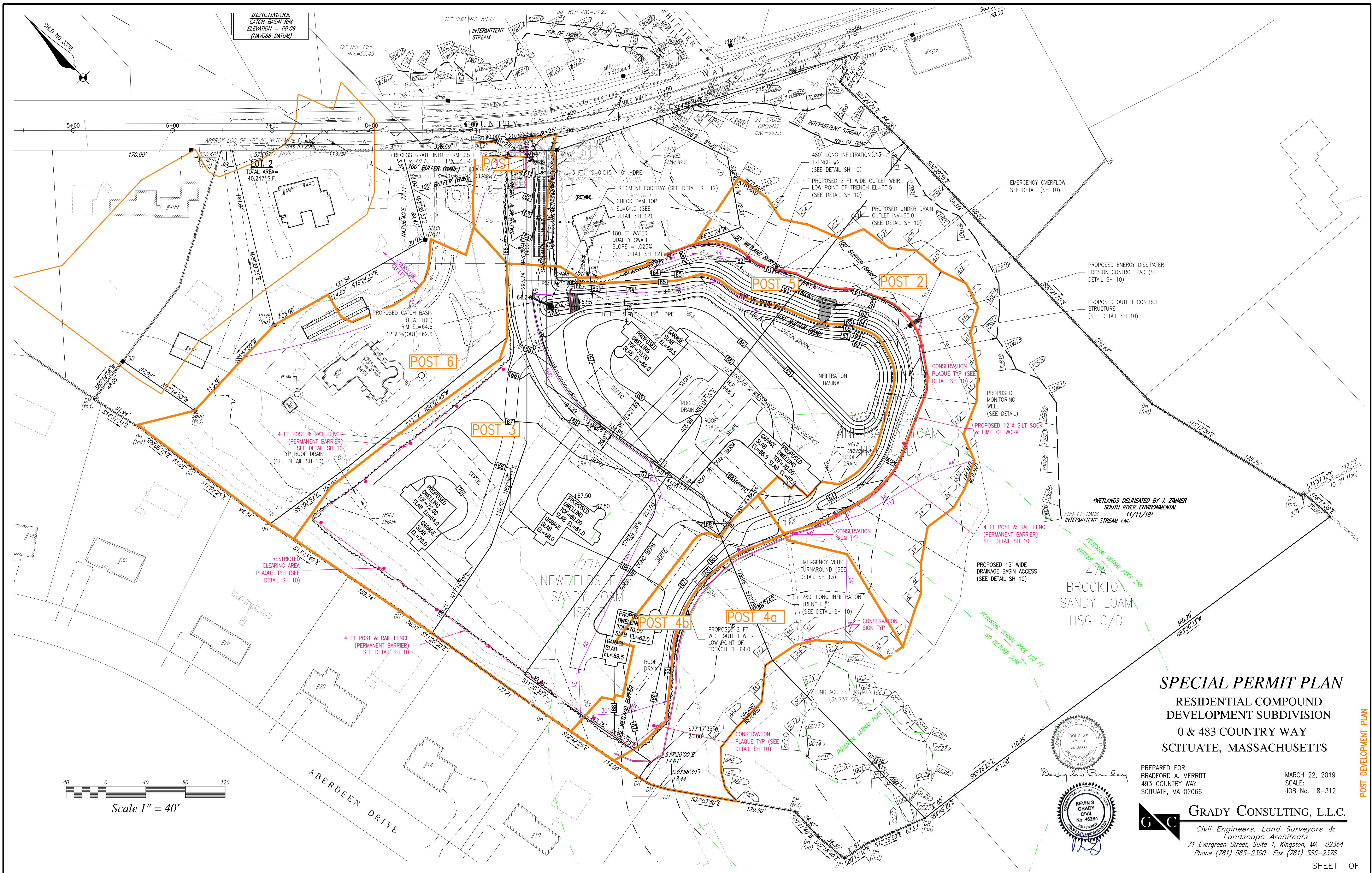
GRADY CONSULTING, L.L.C.

Civil Engineers, Land Surveyors &
Landscape Architects
71 Evergreen Street, Suite 1, Kingston, MA 02364
Phone (781) 585-2300 Fax (781) 585-2378



Douglas Bailey

Kevin S. Grady

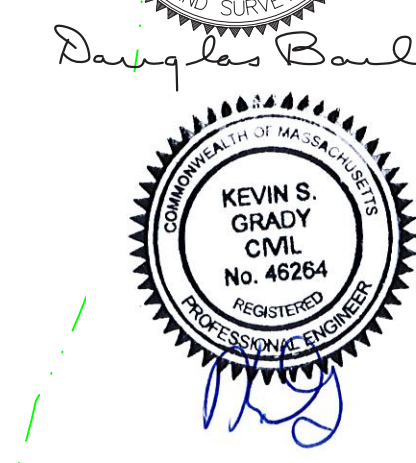
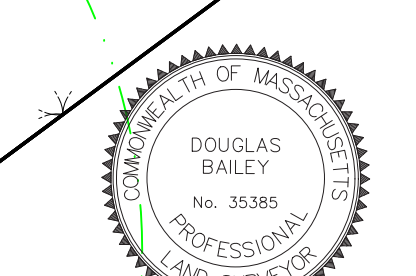


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POST DEVELOPMENT PLAN